



CITY OF WEST SACRAMENTO
Community Development Department
Planning Division

COMMUNITY DEVELOPMENT DIRECTOR
ACTION FORM

On March 9, 2023, after a noticing period that ran from August 29 – September 14, 2022, the Community Development Director approved the following project, pursuant to Chapter 17.37 (Design Review) of the City of West Sacramento Zoning Code:

Request: Approval of an approximately 86 foot tall, 207,000 square foot commercial office, research, and development building at the southeast corner of Fifth and Mill Street. The main pedestrian entrances to the building are along Fifth and Mill Street and the service and loading areas will be on the southern side of the building.

Property Location: Southeast corner of 5th and Mill Street at 1041 5th Street

APN(s): 058-350-075-000

Applicant's/ Owner's Name: Smart Growth Investors II, LLC

The conditions and mitigation measures of this project are attached. The action of the Community Development Director regarding approval, denial, or conditions, may be appealed to the Planning Commission, as provided for in Section 17.35.130 (Appeals). To be considered, an appeal must be filed with the office of the City Clerk (1110 West Capitol Avenue, 3rd Floor) within 15 calendar days of the date of this action. This approval is not final until the appeal period has expired without the filing of an appeal.

DocuSigned by:

5346D653E21A429...
Andrea J. Ouse, AICP
Community Development Director

TBD BLOCK 17 DESIGN REVIEW CONDITIONS OF APPROVAL

Standard

1. This action approves the design of an approximately 207,000 square foot commercial office and research and development building at 1041 5th Street (APN: 058-350-075-000). Development of this site shall be in substantial compliance with the attached plans, except as conditioned. Any modifications to the project that are not in substantial compliance shall be subject to review by planning staff and may require subsequent entitlements.
2. Prior to approval of building permit plans, all monies owed on the project's work order account shall be paid in full.
3. Applicant shall hold harmless the city, its council members, officers, agents, employees, and representatives from liability for any award, damages, costs and fees incurred by the City and/or awarded to any plaintiff in any action challenging the validity of this permit or any environmental or other documentation related to approval of this permit. Applicant further agrees to provide a defense for the City in any such action.
4. The applicant shall comply with requirements of all other agencies of jurisdiction.
5. No building permit shall be issued until the expiration of the 15 day appeal period. If an appeal is filed, no permit shall be issued until final approval is received.
6. This approval will expire in 24 months from the date of approval by the Community Development Director.

Project Specific

1. The project includes approximately 207,000 square feet of building area which requires a minimum of 207 off street parking spaces. The approved project is relying on offsite public, shared parking facilities to meet the minimum required off street parking requirements. Prior to issuance of building permits, the Applicant shall complete any necessary property transactions and/or leases required for offsite parking. Those agreements will include, but not be limited to, a requirement that construction of off-street parking facilities must be completed by the responsible party prior to a final building inspection.

Attachments

1. Project Plans

Block 17-1. Commercial Office and R&D

Attachment 1

JULY 22, 2022
PW PROJECT #492207.000

Perkins&Will

2 Bryant Street
Suite 300
San Francisco, CA 94105
415.856.3000
415.856.3001
www.perkinswill.com

The Bridge District West Sacramento

DESIGN REVIEW DOCUMENTS



Perkins&Will

OWNER	OWNER	ARCHITECT		
Fulcrum HQ 1530 J Street No. 200 Sacramento, CA 95814	Blue Rise Ventures 2020 Challenger Dr. Suite 101 Alameda, CA 94501	Perkins&Will 2 Bryant St. Suite 300 San Francisco, CA 94105		

PROJECT DESCRIPTION

Block 17-1 is located in the Bridge District in West Sacramento and will provide commercial office and R&D space. The vision of the master plan is to create a vibrant and inspiring innovation community where purpose and quality of life intersect in a dynamic waterfront setting offering one of a kind live-work-play environment. The main goals of the Bridge District are:

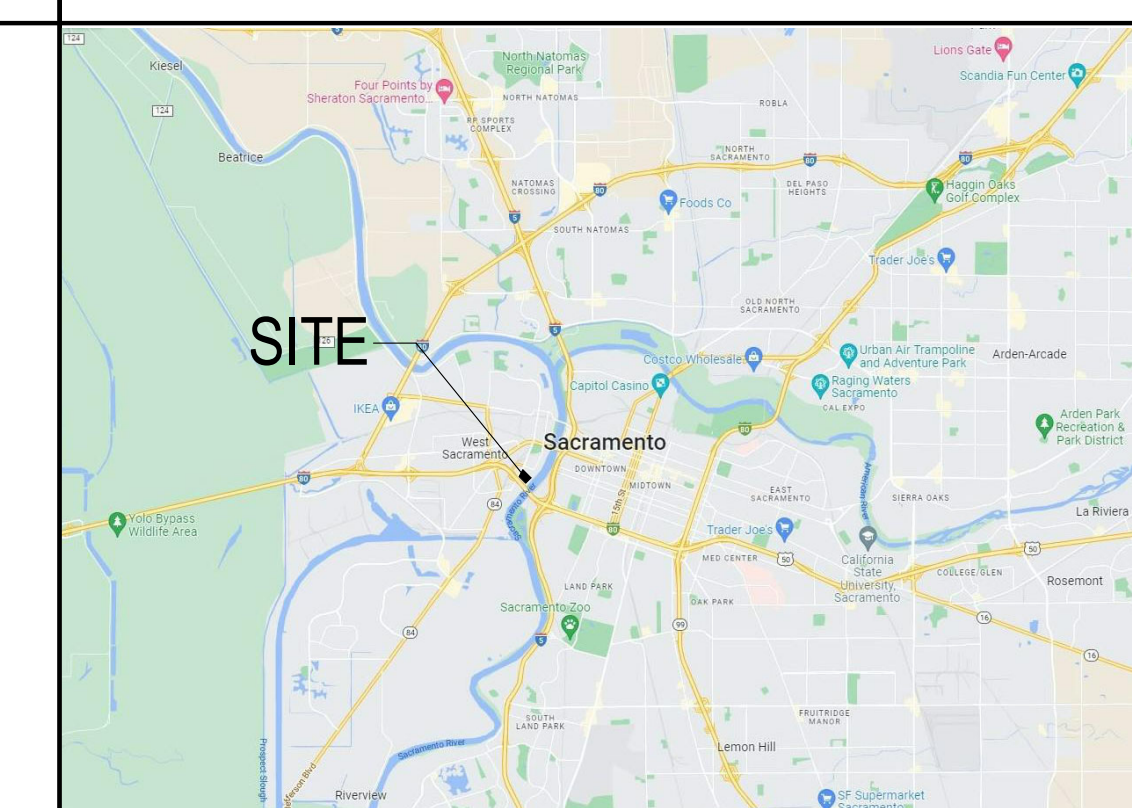
- Create a new civic destination which honors the historic relationship with the River
- Boost economic vitality by attracting new types of businesses
- Provide waterfront access and riverside amenities for all
- Raise the regional profile of West Sacramento
- Develop a mix of uses which will support a vibrant neighborhood
- Reduce auto dependency by providing viable and attractive transportation alternatives
- Use density and mixed-use to reduce environmental impacts in a pedestrian-priority district
- Right-size the parking supply to attract desirable tenants without compromising the character of the place

Sheet Index1				
SHEET NUMBER	SHEET NAME	Discipline	Drawing Index Grouping	Decision Review 07/22/2022 ISSUE NAME 1 XX XX XXXX ISSUE NAME 2 XX XX XXXX ISSUE NAME 3 XX XX XXXX ISSUE NAME 4 XX XX XXXX
01-GENERAL				
G00-01	INDEX OF DRAWINGS	01-GENERAL		
02-ARCHITECTURAL				
A0-01	RENDER VIEW	02-ARCHITECTURAL		
A01-01	ARCHITECTURAL SITE PLAN	02-ARCHITECTURAL		
A20-01	ELEVATIONS	02-ARCHITECTURAL		
A20-02	ELEVATIONS	02-ARCHITECTURAL		
A31-01	TYP. FACADE DETAIL	02-ARCHITECTURAL		

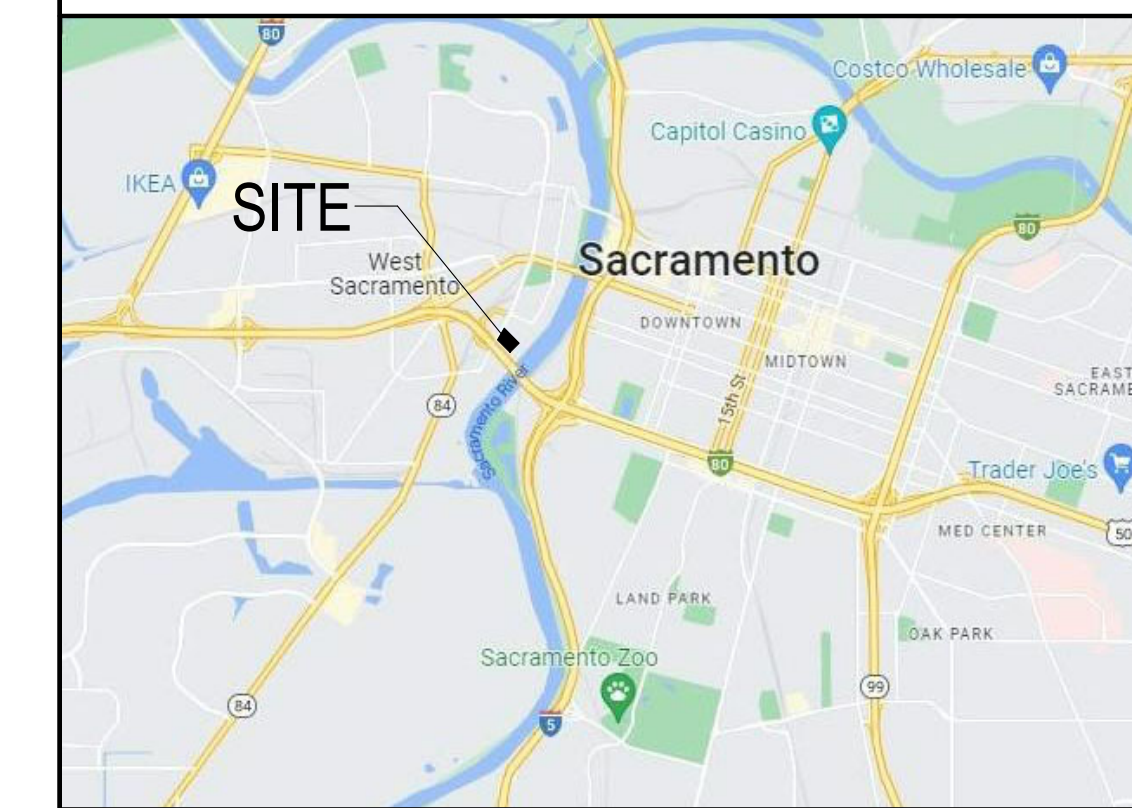
GENERAL NOTES

- **PROJECT INFORMATION**
APN NO.: 058-350-064-000
PROPOSED USE: COMMERCIAL OFFICE and R&D
GROSS SITE AREA: 3.57 ACRES (155509 SF)
PROJECT SITE AREA: 1.90 ACRES (82,704 SF) PROJECT SITE COVERAGE: 54.16%
PROPOSED BUILDING FOOTPRINT: 37,246 SF PROPOSED BUILDING 17-1 NET AREA: 191,443 SF HEIGHT: 86'-6" FT.
FUTURE CONST. BUILDING 17-2 GROSS AREA: 243,100 SF
PROPOSED FAR FOR BUILDING 17-1: 2.31
PROPOSED FAR FOR BUILDING 17-1 & 17-2: 2.79
- **ZONING REGULATIONS**
ZONING DESIGNATION: WF WATERFRONT
GENERAL PLAN: RIVERFRONT MIXED USE
SETBACKS: 0
- **CODES/ LAWS:**
2019 CALIFORNIA CODE OF REGULATIONS (CCR)
2019 CALIFORNIA ADMINISTRATIVE CODE (CAC)
2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA FIRE CODE (CFC)
- **FEDERAL:**
2010 AMERICANS WITH DISABILITIES ACT GUIDELINES
- **OCCUPANCY CLASSIFICATION:**
GROUP B (BUSINESS) OR GROUP L (LAB)
- **PRINCIPAL OCCUPANCY TYPE:**
GROUP B (BUSINESS)
- **CONSTRUCTION TYPE:**
TYPE I - FULLY SPRINKLERED

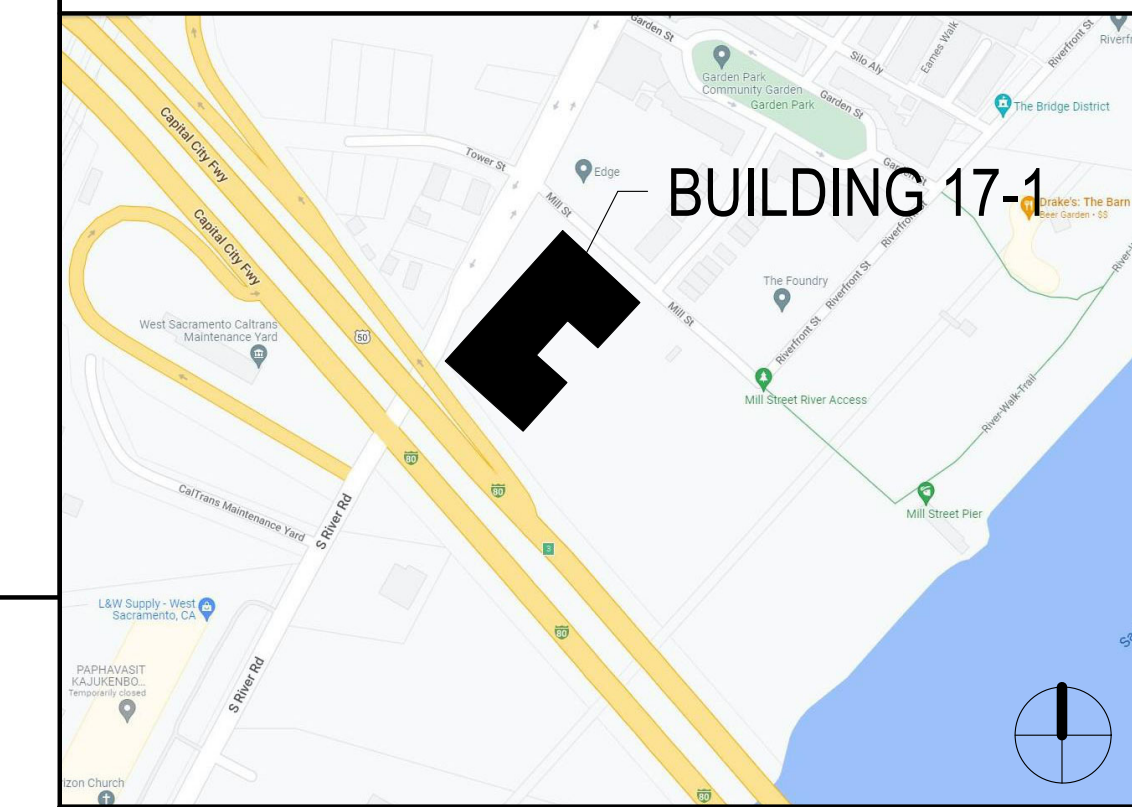
OVERALL MAP



VICINITY MAP



SITE MAP



GENERAL NOTES

KEY

DISCIPLINE

- A - ARCHITECTURE
- C - CIVIL
- L - LANDSCAPE
- M - MECHANICAL
- E - ELECTRICAL
- P - PLUMBING
- S - STRUCTURAL
- K - KITCHEN
- R - RADIOLOGY

NUMBER OF PLAN, DETAIL, ETC. ON SHEET

DRAWING SERIES

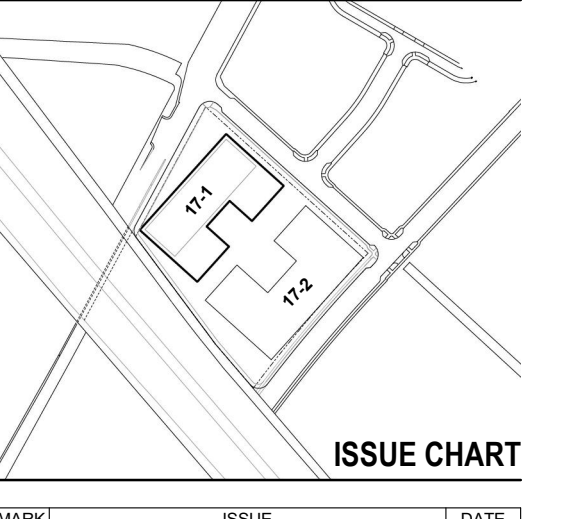
15/A11-01

Block 17-1

The Bridge District
West Sacramento



KEYPLAN



ISSUE CHART

MARK	ISSUE	DATE

TITLE

INDEX OF DRAWINGS

SHEET NUMBER

G00-01

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1-VIEW FROM COURTYARD



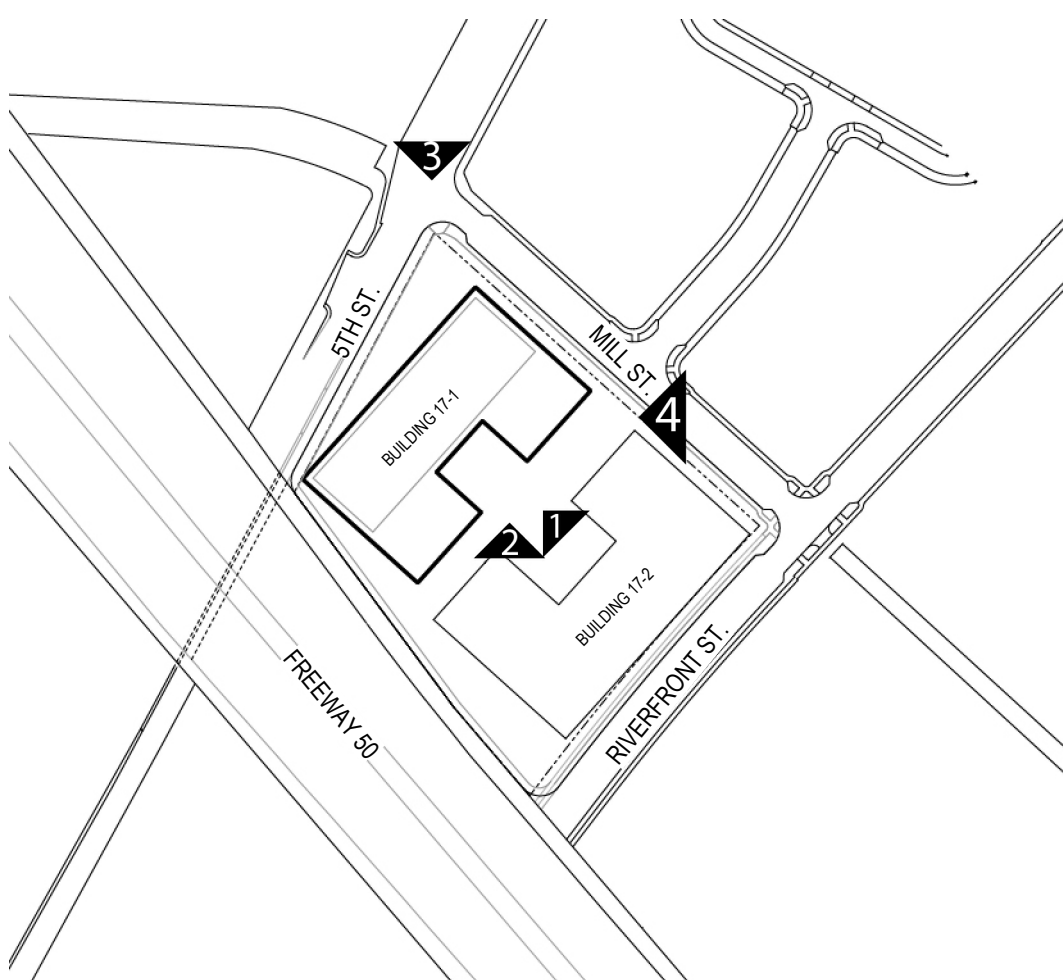
2-VIEW FROM COURTYARD



3-VIEW FROM 5TH & MILL ST.



4-VIEW FROM MILL ST. COURTYARD ENTRY

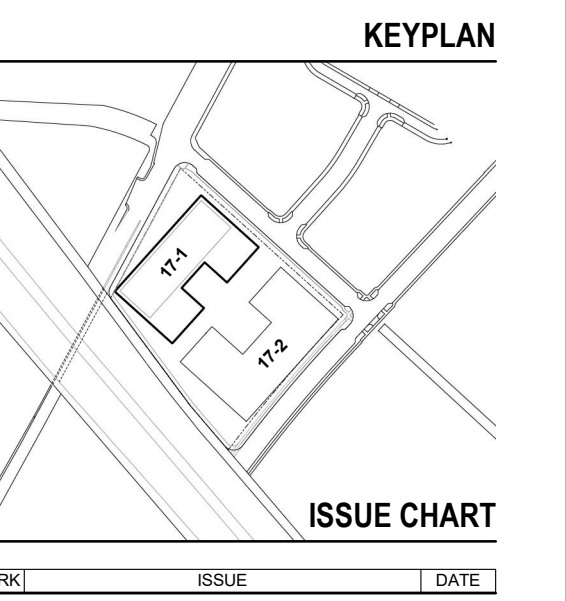


VIEW KEY PLAN

DESIGN REVIEW JULY 22, 2022

Block 17-1

The Bridge District
West Sacramento



KEY PLAN

ISSUE CHART

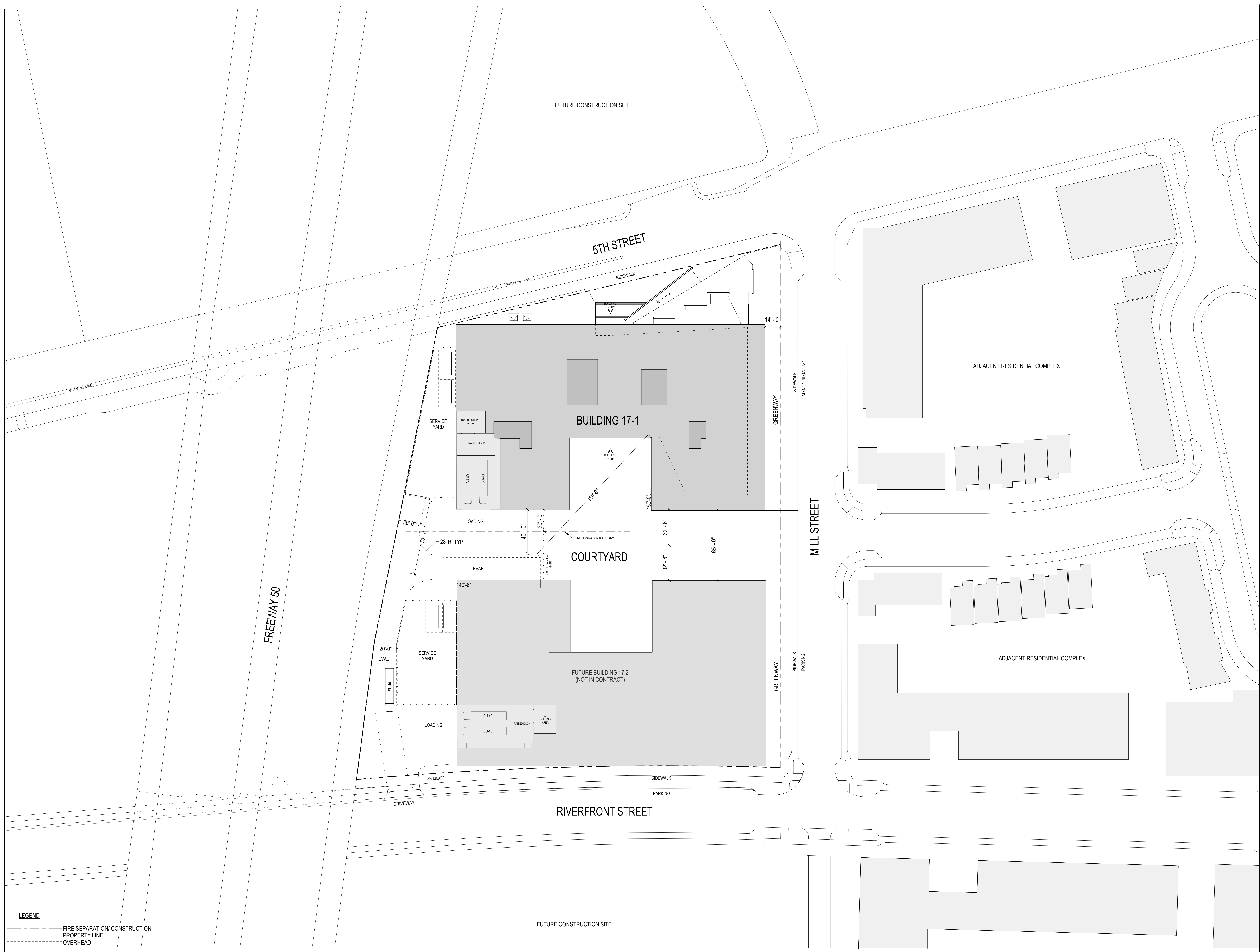
MARK	ISSUE	DATE

TITLE

RENDER VIEW

SHEET NUMBER

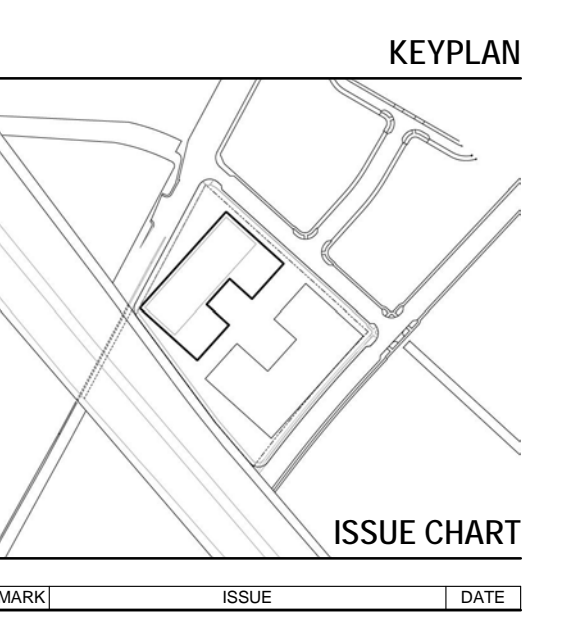
A0-01



100% SCHEMATIC DESIGN JUNE 30, 2022

Biospace 17-1

The Bridge District
West Sacramento



LEGEND

- FIRE SEPARATION/ CONSTRUCTION
- PROPERTY LINE
- OVERHEAD

1 SITE PLAN
1/32" = 1'-0"

TITLE
ARCHITECTURAL SITE PLAN

SHEET NUMBER

A01-01



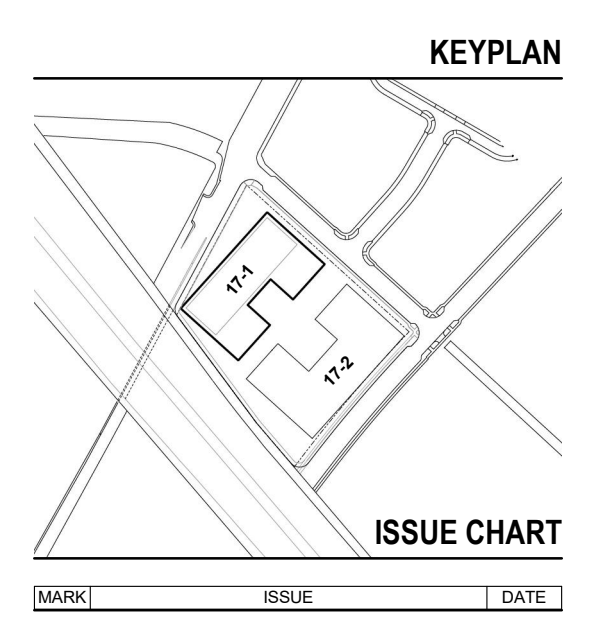
1 SOUTH EAST ELEVATION
 1/16" = 1'-0"



2 NORTH WEST ELEVATION
 1/16" = 1'-0"

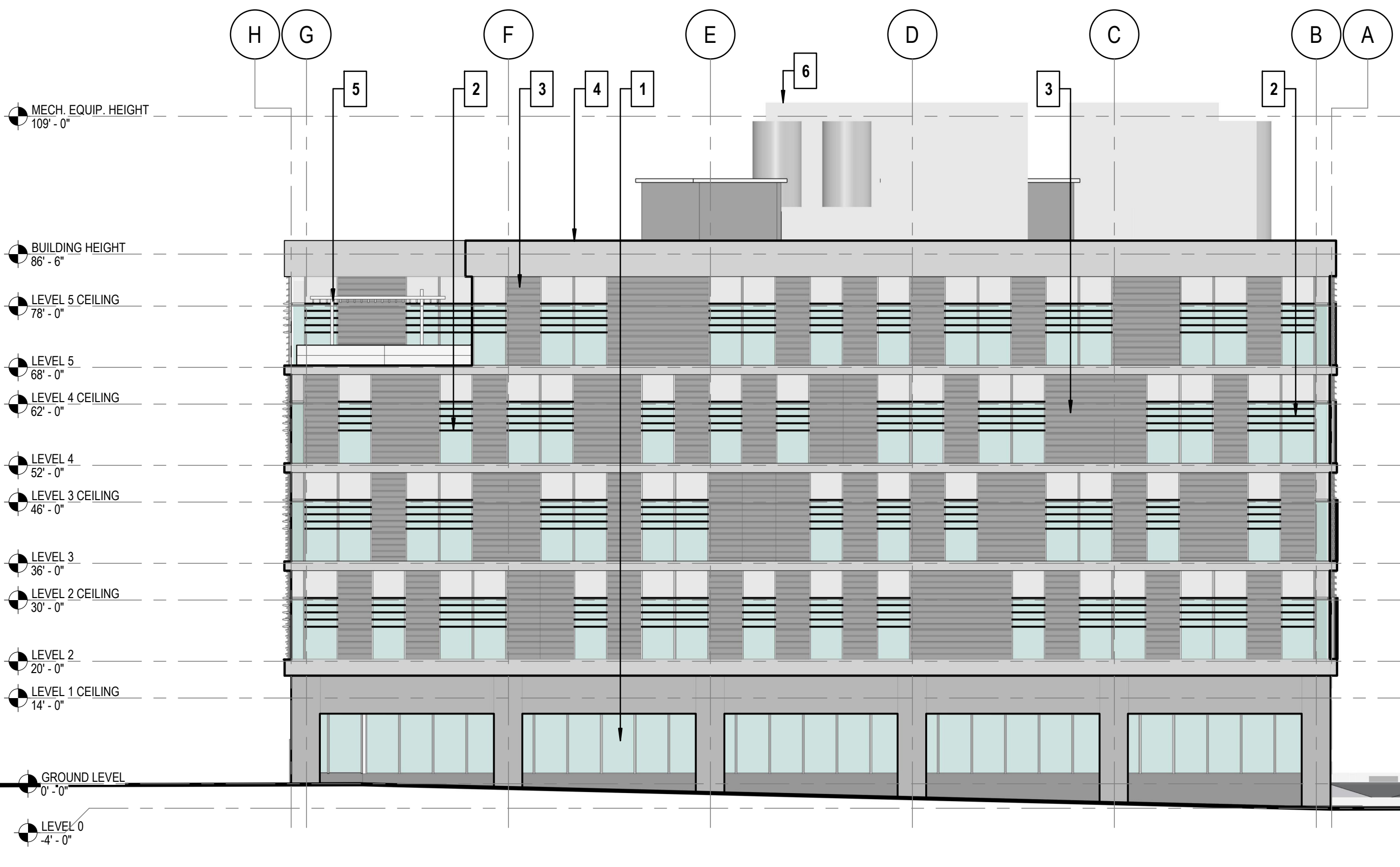
- KEYNOTE LEGEND**
- 1- GLASS/SPANDREL
 - 2- LOUVERS
 - 3- SOLID PANELS
 - 4- PARAPET
 - 5- TRELLIS
 - 6- OUTLINE OF ENVELOPE OF ROOFTOP MECHANICAL EQUIPMENT
 - 7- ROLL UP GARAGE DOOR
 - 8- CONCRETE WALL
 - 9- OVERHEAD BI-FOLD DOOR

Block 17-1
 The Bridge District
 West Sacramento



TITLE
ELEVATIONS

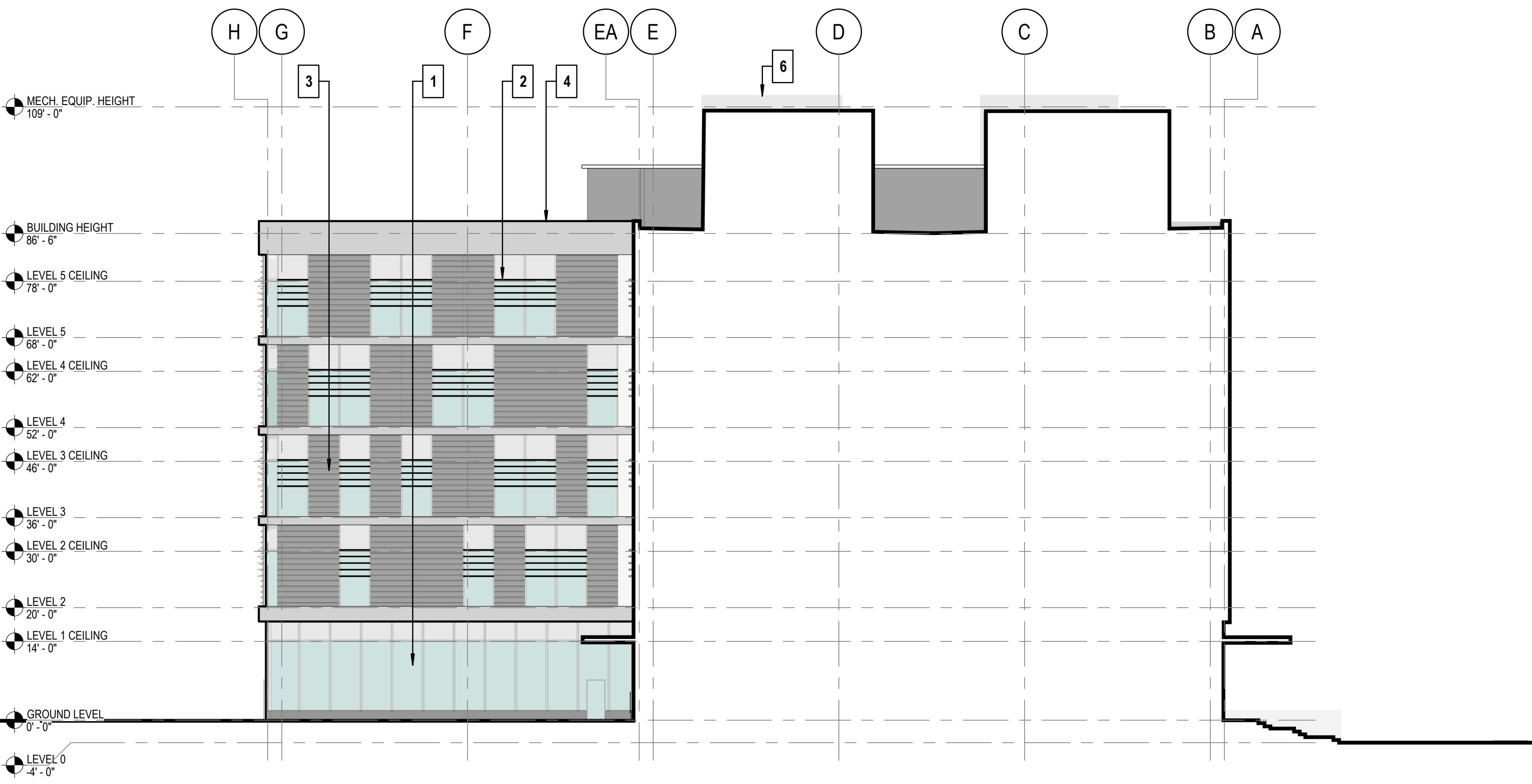
SHEET NUMBER
A20-01



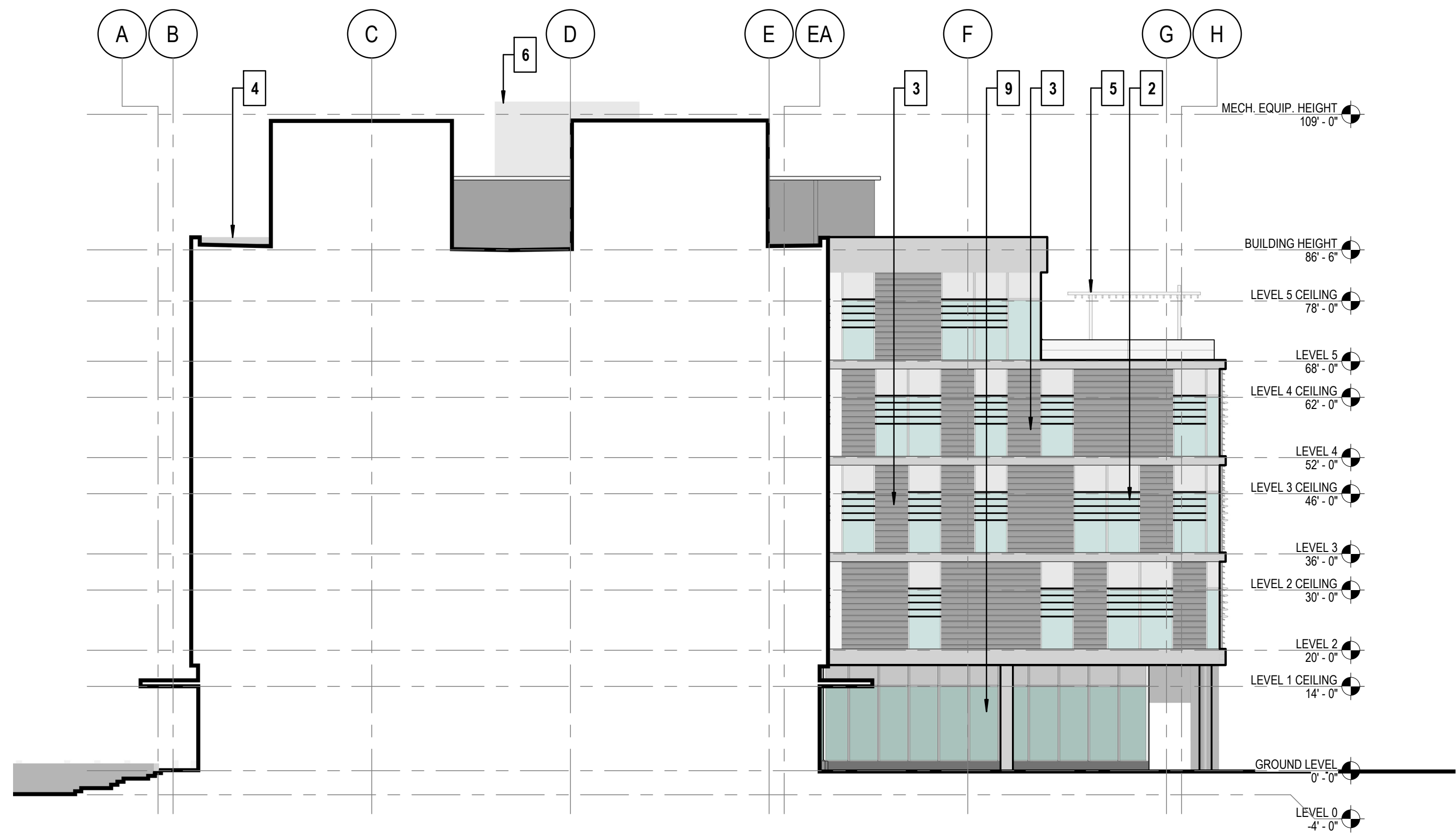
1 NORTH EAST ELEVATION
1/16" = 1'-0"



2 SOUTH WEST ELEVATION
1/16" = 1'-0"



3 COURTYARD SOUTH WEST ELEVATION
1/16" = 1'-0"



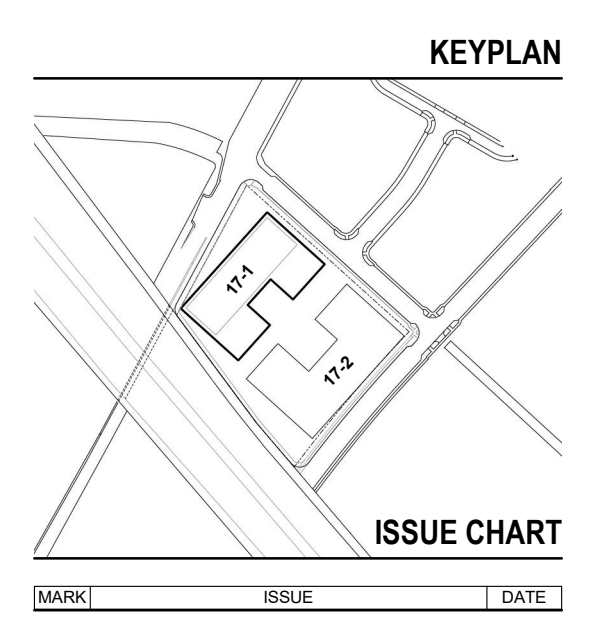
4 COURTYARD NORTH EAST ELEVATION
1/16" = 1'-0"

- KEYNOTE LEGEND**
- 1- GLASS/SPANDREL
 - 2- LOUVERS
 - 3- SOLID PANELS
 - 4- PARAPET
 - 5- TRELLIS
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Block 17-1

The Bridge District
West Sacramento

FULCRUM
BLUE RISE VENTURES
Blue Rise Ventures
Fulcrum Properties

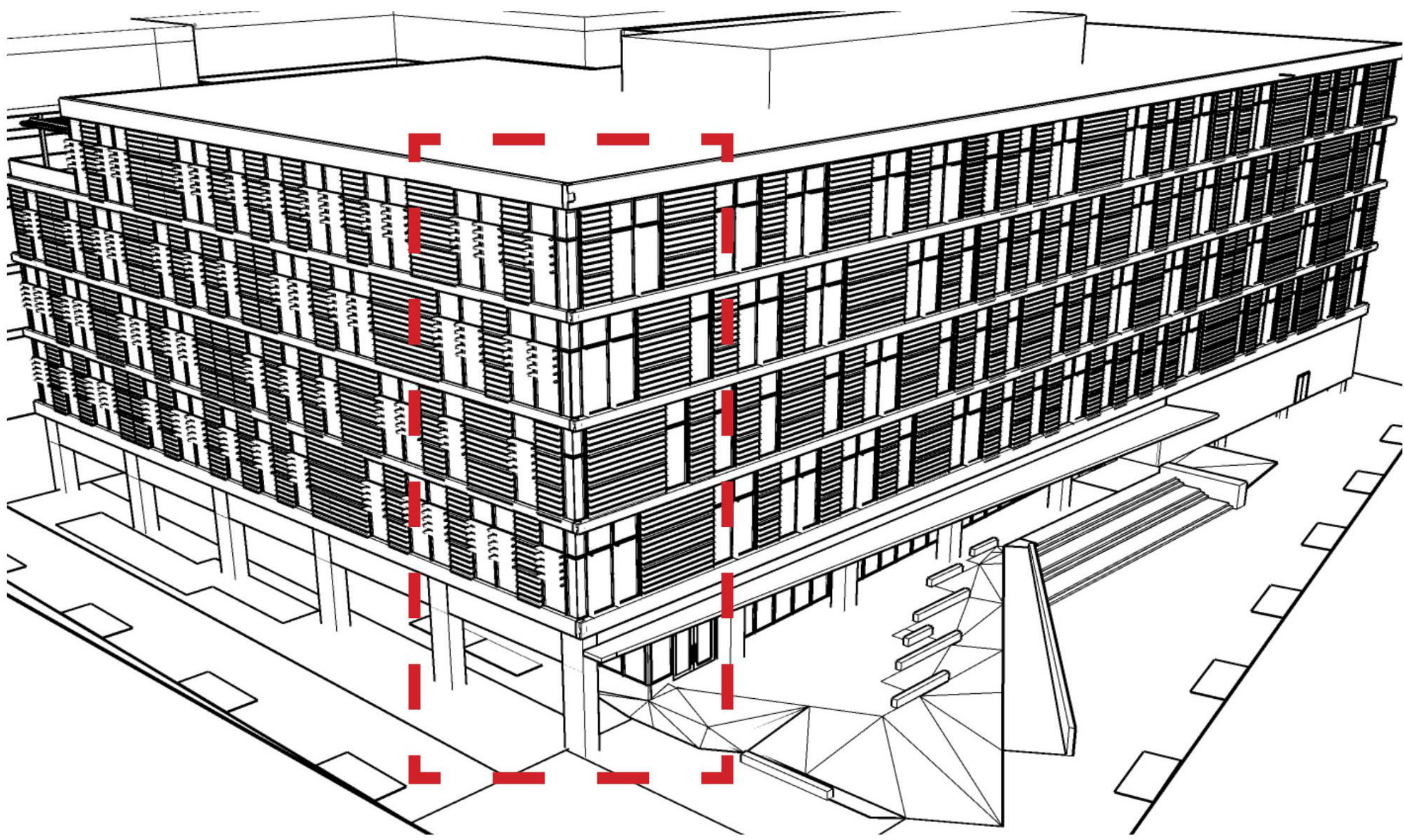


TITLE

ELEVATIONS

SHEET NUMBER

A20-02

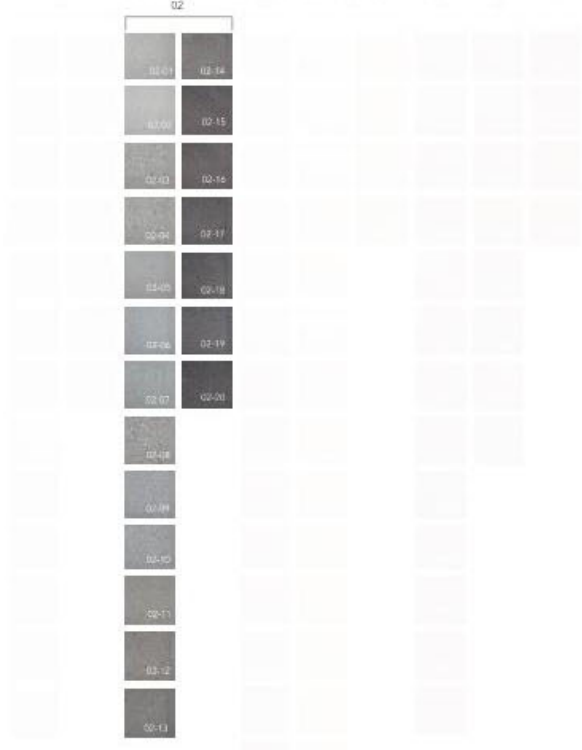


- CORNICE SHAPE
- PRECAST/GFRc PANEL
- SLAB EDGE SHAPE
- PRECAST/GFRc PANEL CORNER
- SLAB EDGE SHAPE
- SLAB EDGE SHAPE
- GLASS CORNER
- SLAB EDGE SHAPE
- UNITIZED GLAZING PANEL
- PLINTH SHAPE
- AWNING
- SHEET METAL CLADDING

FACADE ASSUMPTIONS

PRECAST/GFRc COMPONENTS FINISH RANGE

Clark Pacific Standard Finishes Matrix



UNITIZED GLAZING PANELS



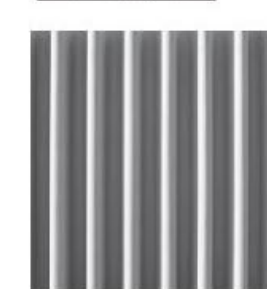
Four-sided captured system allows for crisp lightlines. Structural Glazing Tape (SGT) Option



KAWNEER OR SIMILAR

PRECAST/GFRc PANEL PATTERN

RECKLI



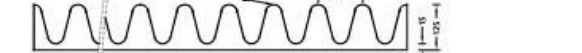
1/4x2 MADERA
 A 1/4" pattern with a ribbed steel mesh face, which is achieved by the intensity of light and shadows. The distance between the elevations is 1/2" millimeters.

DIMENSIONS

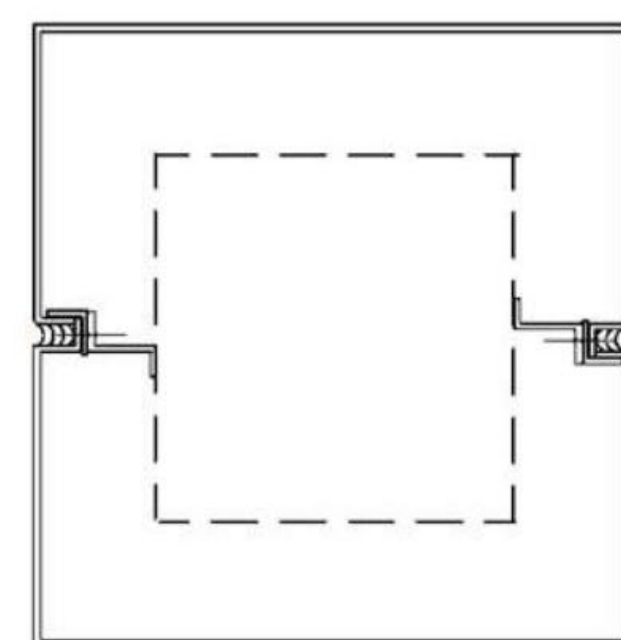
Size	Dimensions (mm)	Order Number
1/4"	6350 x 1200	F041
1/2"	6350 x 1200	F042

See other finishes on supplied in our individual elevations with the maximum material thickness.

The panel height and width of the 1/4" and 1/2" sizes are based on a fixed dimension and the panel height and width of the 1/2" size are based on a fixed dimension. The length of the panel is based on the width of the panel. The length of the panel is based on the width of the panel.



SHEET METAL CLADDING

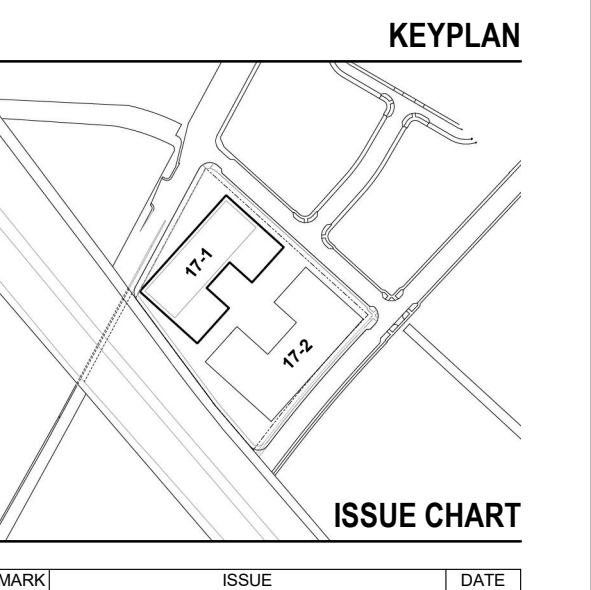


SCHMATIC FACADE AT CORNER

Block 17-1

The Bridge District
 West Sacramento

DESIGN REVIEW JULY 22, 2022

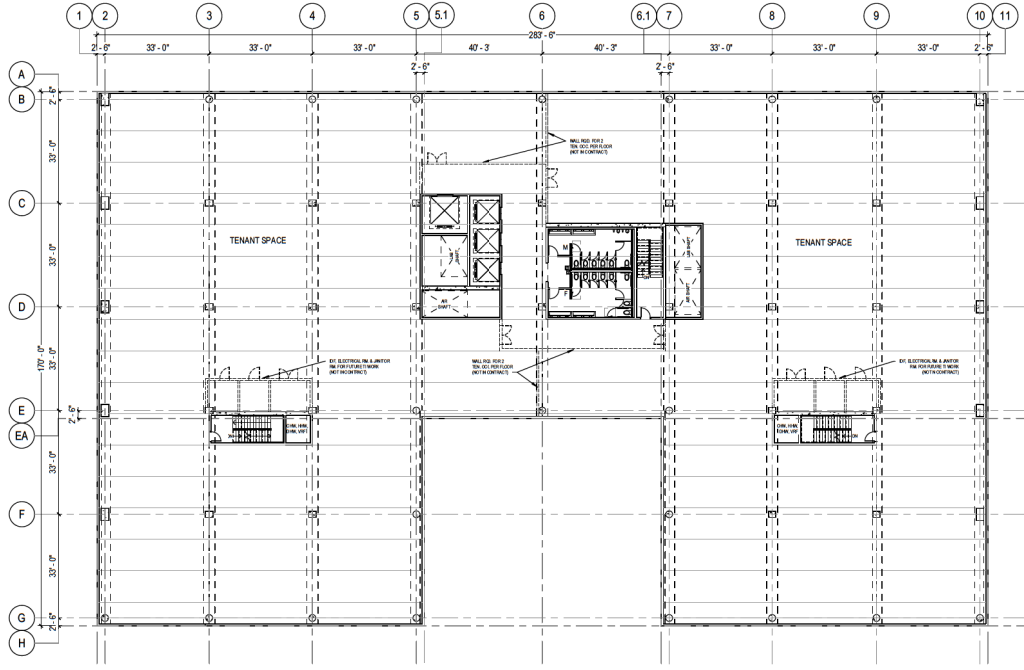


TITLE

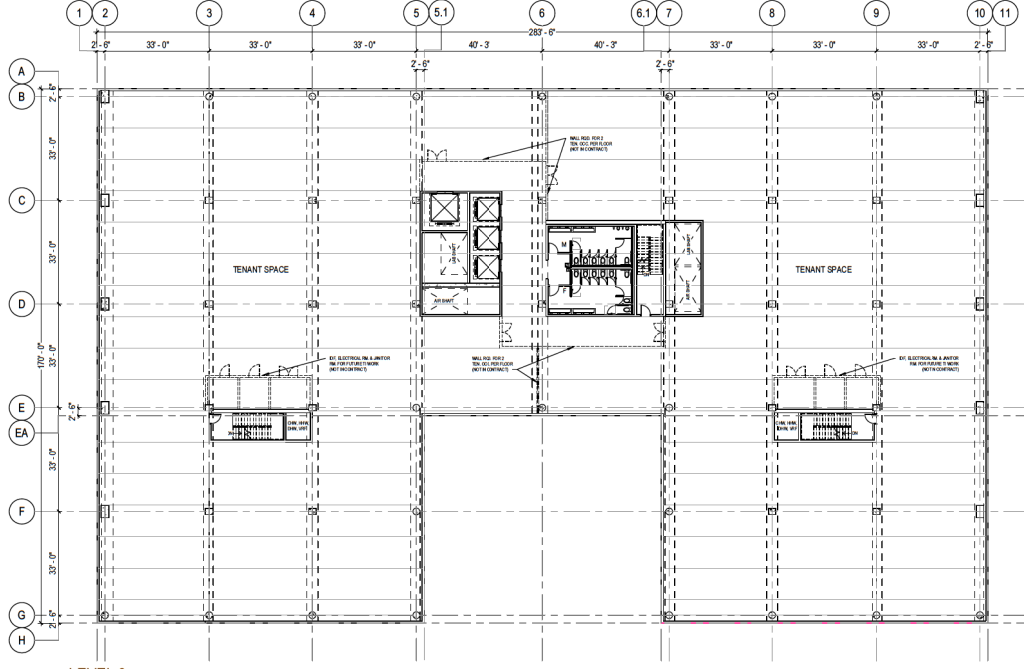
TYP. FACADE DETAIL

SHEET NUMBER

A31-01



1 LEVEL 3
1/8" = 1'-0"



2 LEVEL 2
1/8" = 1'-0"

LEGEND

- FIRE SEPARATION/CONSTRUCTION
- PROPERTY LINE
- OVERHEAD BEAM
- FUTURE TI WORK
- 10' FLOOR MODULE

Perkins&Will

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San Francisco, CA 94108
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Fax: 415.774.3001
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CONSULTANTS

con.

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Redwood City, CA 94061

PONTENERGY Innovation
200 Montgomery St.
Suite 211
San Francisco, CA 94104

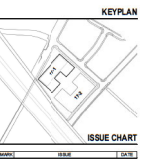
Block 17-1

The Bridge District
West Sacramento

FULCRUM

BLUE RISE
VENTURES

Blue Rise Ventures
Fulcrum Properties

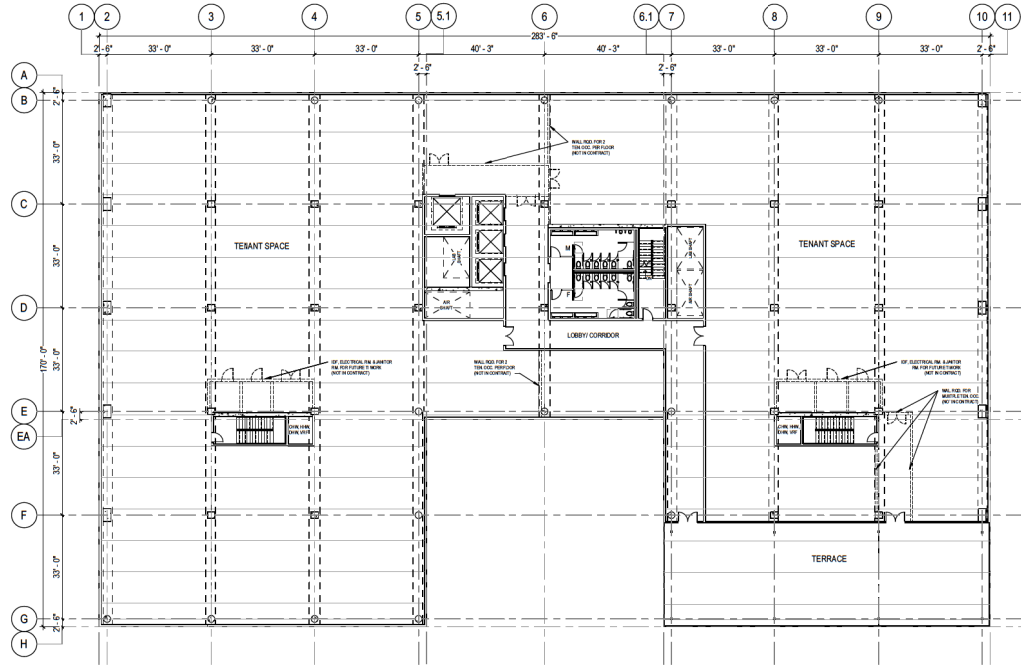


TITLE

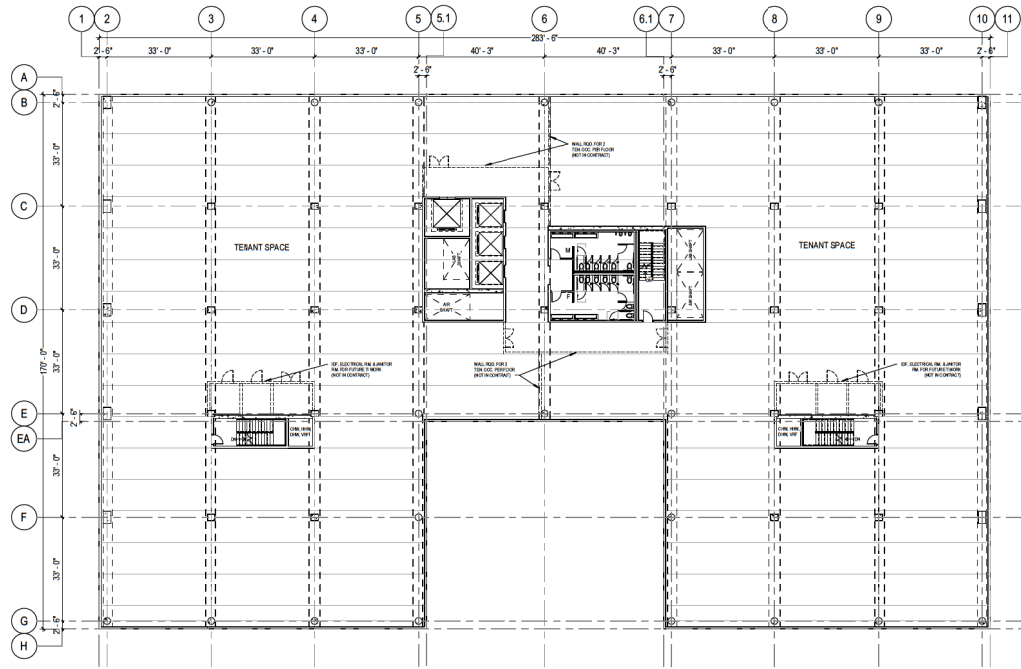
LEVEL 2 & 3

SHEET NUMBER

A10-02



1 LEVEL 5
1/16" = 1'-0"



2 LEVEL 4
1/16" = 1'-0"

LEGEND

- FIRE SEPARATION/CONSTRUCTION
- PROPERTY LINE
- OVERHEAD BEAM
- FUTURE TI WORK
- 10' FLOOR MODULE

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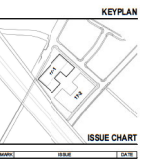
con
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PONTENERGY Innovation
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Suite 211
San Francisco, CA 94104

Block 17-1

The Bridge District
West Sacramento

FULCRUM
BLUE RISE
VENTURES
Blue Rise Ventures
Fulcrum Properties



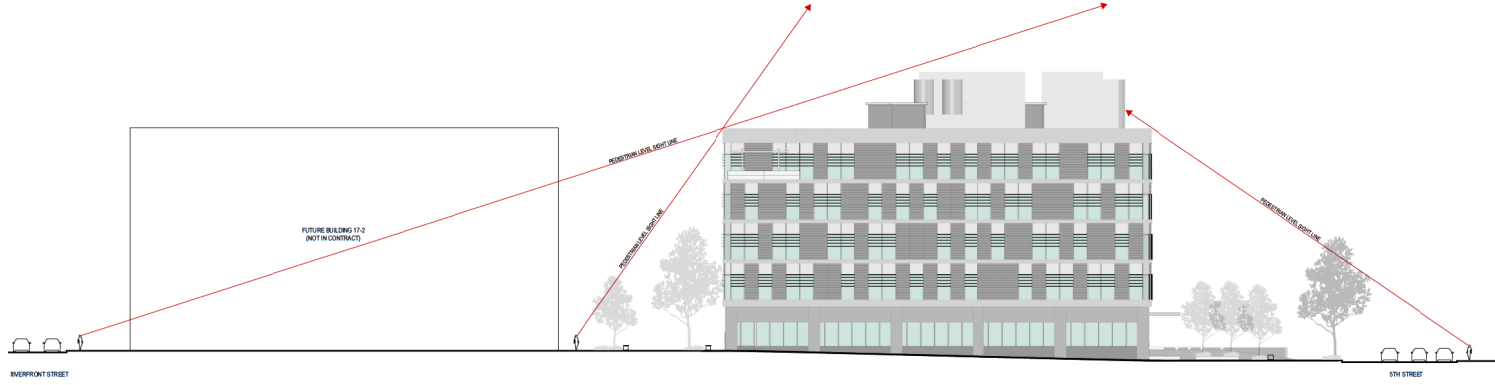
TITLE

LEVEL 4 & 5

SHEET NUMBER

A10-03

R:\102521\1125209.MXD Autodesk Docs\102521\1125209.MXD - BlueRise_Ventures_Design_Review_1027.rvt



① NORTH EAST ELEVATION-SIGHT LINE
1" = 20'-0"

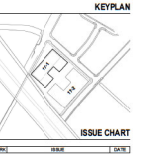


② SOUTH EAST ELEVATION-SIGHT LINE
1" = 20'-0"

DESIGN REVIEW SEPTEMBER 14, 2022

Block 17-1

The Bridge District
West Sacramento



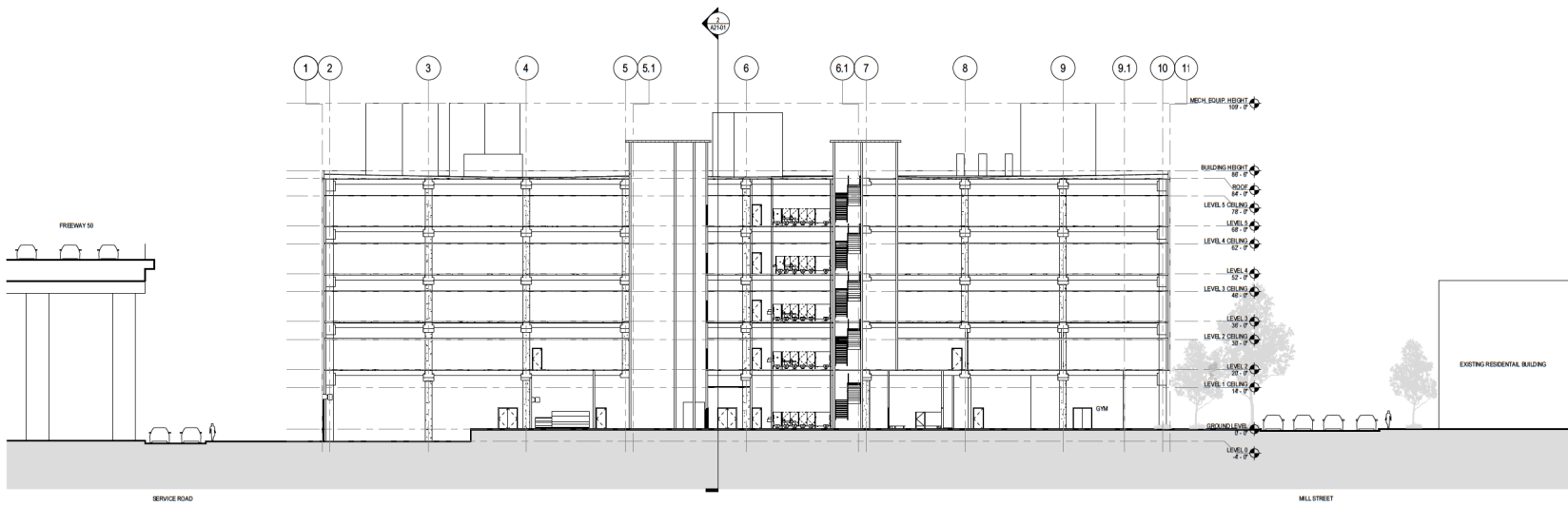
TITLE

DIAGRAMMATIC
ELEVATIONS AND
SIGHT LINES

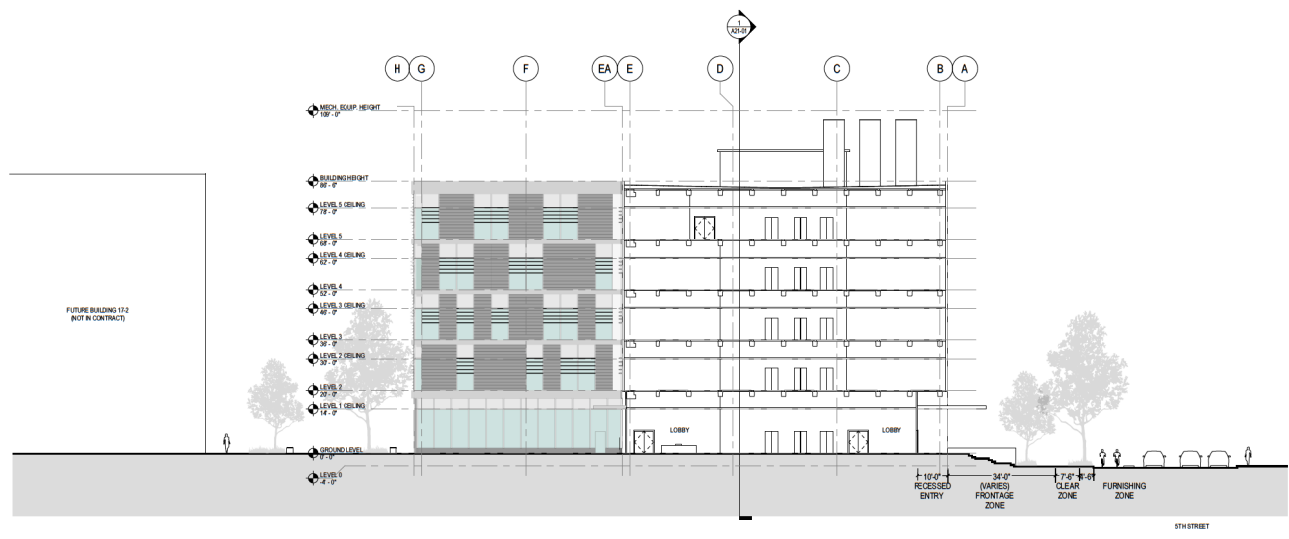
SHEET NUMBER

A20-03

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SECTION 1
 1/16" = 1'-0"



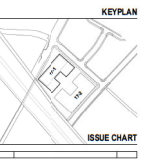
SECTION 2
 1/16" = 1'-0"

NOTE
 REFER TO STRUCTURAL DRAWINGS (BY OTHERS)
 FOR STRUCTURAL SYSTEM AND COMPONENT SIZES

DESIGN REVIEW SEPTEMBER 14, 2022

Block 17-1

The Bridge District
 West Sacramento



TITLE
SECTION
SHEET NUMBER
A21-01
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