



ENGINEERING DIVISION
1110 WEST CAPITOL AVENUE
WEST SACRAMENTO, CALIFORNIA 95691
(916) 617-4645

GENERAL NOTES & REQUIREMENTS
PERMIT INFORMATION
FEE SCHEDULES

***IF YOUR PROJECT IS NORTH OF THE
DEEPWATER CHANNEL, GO TO PAGE 39
FOR CITY IMPACT FEES.

July 2024
(Effective July 1, 2024)

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FEE SCHEDULE A

**PLAN CHECK FEES
ON-SITE AND ENCROACHMENT PERMIT FEES**

PLAN CHECK FEES

On-Site Permits and **Encroachment Permits** are subject to Engineering Plan Check. On-site Permits are issued for all improvements constructed on private commercial, industrial, and multi-family properties up to within five feet of any structure. This includes the above ground and underground piping and appurtenances for gas, drainage, water, sewer, etc. (See **Note** below.) Encroachment Permits are issued for all improvements constructed within City rights-of-way and easements, especially those which are to be accepted for maintenance and operation by the City, except for improvements required of a subdivision for which a subdivision improvement agreement has been approved by the City.

Note: Restaurant grease interceptors, on-site lighting systems, and private fire systems from the fire backflow device at the right-of-way towards the property, will be plan checked and inspected by the Building Department.

- A. **On-Site Permit Application Fee** (non-refundable) = **\$250.00**
- B. Plan Check fees for improvements required of subdivisions or any other improvements for which the Engineering Division provides plan check services shall be based on the estimated value of the civil improvements in accordance with the following table:

<u>Estimated Value</u>	<u>Fee</u>	
\$1 to \$25,000	\$65 plus	7.0% of the estimated value over \$650
\$25,001 to \$50,000	\$2,000 plus	6.5% of the estimated value over \$25,000
\$50,001 to \$100,000	\$4,000 plus	4.0% of the estimated value over \$50,000
\$100,001 to \$200,000	\$6,200 plus	3.5% of the estimated value over \$100,000
\$200,001 and greater	\$11,300 plus	3.0% of the estimated value over \$200,000

NOTE: The above fees no longer include Inspection services from Public Works. Such Inspection Fees will be charged separately according to the Book of Fees formula(s).

- C. **Technology Fee.** A Technology Fee shall be charged as an additional fee to the basic Plan Check Fee. The amount of this fee shall be **8% of the fee charged in Section B above**. These fees shall be used for expansion of the City’s E-Government and Geographical Information System programs along with their operating and maintenance costs.
- D. A non-refundable fee equal to an estimated one-half of the Plan Check Fees shall be paid at the time of first submittal of improvement plans. The remaining balance of the Plan Check Fees shall be paid to the City prior to the approval of the plans.
- E. If outside consulting services are used for specialized plan check, actual costs for these services will be charged in addition to the standard Plan Check Fee. If outside consulting services are used to provide standard plan check as opposed to City personnel providing these services, actual costs for these services including City administrative costs will be charged. A deposit shall be provided at the time of first plan submittal equal to the standard Plan Check Fee. Additional payments to recover costs exceeding the original deposit may be required by the City at any time during the course of plan check. Actual costs will be determined by the City.

FEE SCHEDULE A (continued)

PLAN CHECK FEES (CONTINUED)
ON-SITE AND ENCROACHMENT PERMIT FEES

- F. At the discretion of the City, a fee in addition to the plan check fee may be charged for services determined to be in excess of normal plan check. These services may include reviewing and approving revisions to plans following plan approval; providing excessive plan check resulting from inadequate design or construction, or for requests to modify improvement requirements; and performing plan check beyond normal working hours and on holidays and weekends. Time shall be charged at rates published in the Book of Fees for Engineering Services and shall be rounded up to the nearest whole hour. Refer to reference rates below. A deposit representing the expected fee, as determined by the Director of Community Development, shall be paid in advance of providing additional plan check, if said services are provided by request.

- G. Applicants with a plan check fee greater than \$5,000 are eligible to request a deposit/reimbursement structure for plan check fees. Under this structure, the applicant would be required to submit a deposit according to the formula described above. Staff time related to plan check would be tracked and the actual cost of the plan check fee will be equal to the cost of the staff time and materials required. Time shall be charged at rates published in the Book of Fees for Engineering Services and shall be rounded up to the nearest whole hour.

Rates for the following positions are representative and include other classifications equivalent to terms of salary. The following information is provided for Reference Only. Refer to the Book of Fees for current billing rates.

<u>Position</u>	<u>Billing Rate</u>
Principal Engineer	\$178.00
Supervising Engineer	\$171.00
Senior Engineer	\$162.00
Associate Engineer	\$152.00
Engineering Assistant	\$133.00
Assistant Engineer	\$124.00
Permit Technician	\$ 55.00

FEE SCHEDULE A (CONTINUED)

MAP CHECK, SITE PLAN REVIEW, DOCUMENTS FEES, AND MISC ENGINEERING SERVICES

Map Check Fees

The following fees will be charged for the review of parcel and final maps, legal descriptions, easements, and closure calculations for subdivisions:

Application Fee	\$150.00
Parcel Map	\$2,000.00 deposit on actual cost*
Final Map	\$5,000.00 deposit on actual cost*

The deposit shall be paid prior to filing the parcel or final map with the City Engineer.

*Actual cost shall be based on the hourly rates for staff time as published in the City’s Book of Fees and are due prior to City Council consideration of approval of the parcel or final map. All fees are non-refundable.

Building Permit and Site Plan Review Fee

An \$85.00 fee will be charged for all site plans reviewed for the purpose of approving the issuance of building permits. This includes review of the site plan and building permit and may include a field review of the site. This fee is generally collected by the Building Division at the time of application, and does not include Engineering plan check.

Document Fees

Photocopies*	
8 ½”x11” and 8 ½”x14” per page	\$ 0.20**
11” x 17” per page	\$ 0.25
C size drawing (18”x24”)	\$ 2.10
D size drawing (24”x36”)	\$ 4.20
E size drawing (36”x48”)	\$ 8.40
Per square foot of paper or any fraction thereof	\$ 0.70
Scanned Documents***	
8 ½”x11”, 8 ½”x14”, 11”x17” per page**	\$ 0.10
Any document greater than 11” x 17” per page	\$ 1.25
Media Files	
Compact Disc	\$ 10.00
DVD	\$ 15.00

*Note: Charges of less than \$1.00 will be waived.

**Fair Political Practice Commission (FPPC) records will be charged the maximum rate allowable by law, which is \$0.10 per page. A \$5.00 handling fee will be charged for FPPC documents more than five years old.

***Note: Charges of less than \$5.00 will be waived.

Miscellaneous Engineering Services Fee

Fees for miscellaneous engineering services will be based on the hourly rates for staff time as published in the City’s Book of Fees. These services shall include, but are not limited to performing general research, pre-application project fee estimates, retrieving and reproducing plans, processing street vacations and easement abandonments, processing permits to other governmental agencies, reviewing environmental and traffic studies, performing initial engineering for proposed assessment districts, and responding to inquiries concerning fees and other engineering related issues. The Director of Community Development may, at his/her discretion, require an initial deposit based on the estimated number of work hours to be accompanied by a Development Agreement for Special Services.

GRADING PERMIT FEES

The application and plan check fees for each grading permit or renewal of such permit shall be paid in full at the time the application is made.

A. Grading Permit Application Fee: \$250.00

B. Plan Check Fees:

The fee shall be based on the estimated volume of excavation and fill proposed for the site. Prior to accepting plans and specifications for review, the full amount of the fees shall be paid to the Engineering Division. This fee includes plan check for earthwork generally exceeding 200 cubic yards or areas larger than one acre in size, but may apply to lesser quantities at the discretion of the City.

200 cubic yards or less	\$200.00	
201 to 1,000 cubic yards	\$200.00	plus \$15.00 for each additional 100 c.y. or any fraction thereof over 200 c.y.
1,001 to 10,000 cubic yards	\$320.00	plus \$20.00 for each additional 1,000 c.y. or any fraction thereof over 1,000 c.y.
10,001 to 100,000 cubic yards	\$500.00	plus \$100.00 for each additional 10,000 c.y. or any fraction thereof over 10,000 c.y.
100,001 cubic yards or more	\$1,400.00	plus \$60.00 for each additional 10,000 c.y. or any fraction thereof over 100,000 c.y.

NOTE: The above fees no longer include Inspection services from Public Works. Such Inspection Fees will be charged separately according to the Book of Fees formula(s).

C. Technology Fees. Technology fees shall be charged as additional fees to the basic plan check fee. The amount of these fees shall be **8% of the total fee charged in Section B above.** . These fees shall be used for expansion of the City’s e-Government and Geographical Information System programs along with their operating and maintenance costs.

Notes:

1. Additional fees may be charged for plan check if changes or circumstances occur that, in the sole discretion of the City, warrant additional fees. These additional fees would be equal to the cost of the staff time and materials required. Time shall be charged at rates published in the Book of Fees for Engineering Services and shall be rounded up to the nearest whole hour. For cases where a change in volume of grading work to that originally indicated by application or valid permit results, the plan check fees shall be adjusted based on the above schedule of fees, with additional fees charged for City staff time to review and process the change. Also, a bond or some other acceptable form of financial security shall be required to ensure compliance with permit conditions.
2. Grading work which entails more than 20,000 cubic yards or ten (10) or more acres of clearing must be approved by the Planning Commission as consistent with the General Plan. It is the Applicant’s responsibility to apply for this action. Any Grading Permit requiring consistency with the General Plan will not be issued until Planning Commission approval is attained.

FEE SCHEDULE C

WATER CONNECTION FEES—GENERAL INFORMATION

1. All work shall be performed in accordance with the City of West Sacramento Standard Specifications and Details and applicable City Ordinances.
2. Applicant shall obtain connection permits and pay connection fees prior to connection to City water facilities. Permits may be obtained by contacting the City of West Sacramento, Development Engineering Division, 1110 West Capitol Avenue, West Sacramento, CA 95691, (916) 617-4645.
3. All work involving connection to City water mains must be inspected by the Public Works Department.
4. Monthly fees for water use may be obtained by contacting the City of West Sacramento, Department of Finance, 1110 West Capitol Avenue, West Sacramento, CA 95691, (916) 617-4575.
5. On a single parcel, one single water service may be used if the size is adequate to accommodate domestic, irrigation and fire demand. If an inadequately sized service exists to the property to accommodate the combined demand, an additional, separate service shall be installed.
6. The water service and meter assembly shall be furnished and installed by the property owner or Contractor and inspected by the Public Works Department.
7. In addition to a water connection permit, an encroachment permit is required for work performed within public rights-of-way or easements. Also, an on-site permit is required for work on commercial, industrial and multi-family lots. The encroachment permit and on-site plan check fees vary, and depend on the estimated value of the work. Refer to the attached Fee Schedule A for current Plan Check fees.
8. Standard Specifications and Details for sewer and water connections may be obtained from the Engineering Division.
9. Fees to be collected will be those in the Fee Schedule and the Book of Fees in effect at the time of complete application.

FEE SCHEDULE C (continued)
WATER CONNECTION FEES

CONNECTION PERMIT APPLICATION FEE

A fee of **\$250.00** which includes application review, permit issuance, and tracking. This fee may also cover the Sewer Connection Permit Application Fee, as applicable; i.e. if both sewer and water are combined on a Connection Permit, this fee will only be charged once.

CAPACITY CHARGE

This charge is collected to fund the continued availability of facilities through system expansion and replacement. Charges corresponding to domestic water line size are listed below.

DOMESTIC WATER SERVICE

3/4"	\$	11,829
1"	\$	19,753
1-1/2"	\$	39,390
2"	\$	63,045
3"	\$	126,210
4"	\$	197,180
6"	\$	394,246
8"	\$	630,815
10"	\$	906,894
12"	\$	1,695,423

**MULTIPLE DWELLING UNITS* and
 MOBILE HOME PARK UNITS***

Will be based on the meter size needed to serve the multi-family dwelling(s) or mobile home unit(s).

* **Multiple Dwelling and Mobile Home Units:** Include duplexes, triplexes, quadriplexes, condominiums, townhouses, apartments, mobile home units, or any type of dwelling intended for residential use other than single family residential.

FIRE SPRINKLERS

PRIVATE (COMMERCIAL) FIRE PROTECTION (PER TAP, ANY SIZE) \$ 11,829

For residential uses, the meter size used to determine the amount of the water impact fee will be based on the requirements of the International Plumbing Code design capacity requirements (or other applicable building code requirements), without consideration for increased capacities required for fire sprinkler systems. **Minimum meter size shall be 3/4".**

NOTE: These Water Connection Fees will be increased annually based on the construction cost index published in the Engineering News Record.

FEE SCHEDULE C (continued)
WATER CONNECTION FEES

WATER CONNECTION FEE CREDITS

- A. Water Connection Fees are not required where it can be shown that a previous connection of the same size once existed for a similar improvement on a parcel.
- B. Consistent with the City's adopted Developer Reimbursement Policy, credits against fees can be applied for the following components of water service provided for past performance (cash payments, land dedications, constructed improvements, etc.)
- C. Green Building Credit: Project applicants that can demonstrate green building techniques in excess of minimum building code requirements may be eligible for adjustment to the City water connection fees. The adjustment would be proportionate to the reduction in impact to the water system funded through the fee program. An estimate of the reduction in water system impact and fee amount is required by the applicant, along with substantiating evidence. The City Manager's concurrence with the applicant's findings is required prior to granting a water fee adjustment.

FEE SCHEDULE D

SEWER CONNECTION FEES—GENERAL INFORMATION

1. All work shall be performed in accordance with the City of West Sacramento Standard Specifications and Details and applicable City Ordinances.
2. Applicant shall obtain connection permits and pay connection fees prior to connection to City sewer facilities. Permits may be obtained by contacting the City of West Sacramento, Development Engineering Division, 1110 West Capitol Avenue, West Sacramento, CA 95691, (916) 617-4645.
3. The treatment portion of the sewer connection fees shall be defined by the Sacramento Regional County Sanitation District (SRCSD). The City shall collect SRCSD fees on behalf of SRCSD for single family residential and residential duplex projects. Fees for all other types of projects shall pay SRCSD fees directly to SRCSD. Applicants may contact SRCSD directly for fee quotes and to make payments. SRCSD staff may be contacted at:
SRCSD
10545 Armstrong Avenue, Suite 102
Mather, CA 95655
(916) 876-6100
permitservices@sacsewer.com

The City will collect the treatment portion of the sewer connection fee on behalf of SRCSD.

4. All work involving connection to City sewer mains must be inspected by the Public Works Department.
5. All applicants discharging or planning to discharge other than common, household sewage shall complete and submit a pretreatment application. Applications are available from the Department of Public Works, (916) 617-4850.
6. Monthly fees for sewer use may be obtained by contacting the City of West Sacramento, Department of Finance, 1110 West Capitol Avenue, West Sacramento, CA 95691, (916) 617-4575.
7. In addition to a sewer connection permit, an encroachment is required for work performed within public rights of way or easements. Also, an on-site permit is required for work on commercial, industrial and multi-family lots. The encroachment permit and on-site permit plan check fees vary, and depend on the estimated value of the work. Refer to the attached Fee Schedule A for current Plan Check Fees.
8. Standard Specifications and Details for sewer connections may be obtained from the Engineering Division.
9. Fees to be collected will be those in the Fee Schedule and Book of Fees in effect at the time of complete application.

FEE SCHEDULE D (continued)
SEWER CONNECTION FEES

CONNECTION PERMIT APPLICATION FEE

A fee of **\$250.00** which includes application review, permit issuance, and tracking. This fee may also cover the Sewer Connection Permit Application Fee, as applicable; i.e. if both sewer and water are combined on a Connection Permit, this fee will only be charged once.

SEWER CONNECTION FEES BASED ON THE TYPE OF FACILITY ARE LISTED BELOW

1. Single Family Residential: (4 inch diameter connection)

A. Collection - City of West Sacramento Charge*: **\$7,691.00**

B. Treatment - Sacramento Regional County Sanitation District:

Sacramento Regional County Sanitation District fees are as follows:

North area \$3,283

Southport \$6,479

2. Multiple Dwelling Units: Include duplexes, triplexes, quadriplexes, condominiums, townhouses, apartments, mobile homes, or any type of dwelling intended for residential use other than single family residential.

A. Collection - City of West Sacramento per dwelling unit charge: **\$5,768.00**

B. Treatment (duplexes) - Sacramento Regional County Sanitation District per dwelling unit charge:

Sacramento Regional County Sanitation District fees are as follows:

North area \$2,462

Southport \$4,859

Note: Treatment Impact Fees are subject to change based on SRCSD.

3. Accessory Dwelling Units (ADUs): The methodology for calculating sewer fees for Accessory Dwelling Units will conform with SB1069, and shall be pro-rated based on square footage, or plumbing fixture units.

FEE SCHEDULE D (continued)
SEWER CONNECTION FEES

3. Commercial/Industrial: The connection fees for commercial and industrial developments shall be determined based upon the estimated strength and quantity of discharge, as determined by the City and SRCSD.

A. Collection - City of West Sacramento Charge*

<u>LAND USE</u>	<u>FEE</u>
General Commercial	\$2,280.00 / 1,000sf
Neighborhood Commercial	\$1,824.00 / 1,000sf
Community Commercial	\$1,824.00 / 1,000sf
Highway Commercial	\$1,824.00 / 1,000sf
Water-Related Commercial	\$2,280.00 / 1,000sf
Office	\$2,280.00 / 1,000sf
Business Park	\$1,824.00 / 1,000sf
Light Industrial	\$911.00 / 1,000sf
Water-Related Industrial	\$911.00 / 1,000sf
Mixed Commercial/Industrial	\$1,366.00 / 1,000sf
Heavy Industrial	Case-by-Case Basis

- a. The minimum collection charge for commercial and industrial developments shall be **\$7,691**.
- b. For all tenant improvements, remodels, or additions to commercial and industrial buildings which were issued building permits for new construction before **November 14, 1990**, the charge for sewer connection fees shall be determined based on **\$124.00** per plumbing fixture unit. Fixture units will be calculated per current Plumbing Code (table included below).
- c. The minimum size lateral for commercial and industrial connections shall be six (6") inches.

NOTE: The collection portion of the Sewer Connection Fees will be increased annually based on the construction cost index published in the Engineering News Record.

B. Treatment - Sacramento Regional County Sanitation District charge:

- a. Sacramento Regional County Sanitation District (SRCSD) will determine the treatment portion of the sewer connection fee for commercial / industrial and multi-family users. Please contact SRCSD staff at

SRCSD
 10545 Armstrong Avenue, Suite 102
 Mather, CA 95655 (916) 876-6100
 permitservices@sacsewer.com

- b. Proof of payment from SRCSD will be required prior to permit issuance.

FEE SCHEDULE D (continued)
SEWER CONNECTION FEES

SEWER CONNECTION FEE CREDITS

- A. Sewer Connection Fees are not required where it can be shown that a previous connection once existed for a similar improvement on a parcel.
- B. Consistent with the City's adopted Developer Reimbursement Policy, credits against fees can be applied for the following components of water service provided for past performance (cash payments, land dedications, constructed improvements, etc.)

**TABLE 702.1
DRAINAGE FIXTURE UNIT VALUES (DFU)**

PLUMBING APPLIANCES, APPURTENANCES, OR FIXTURES	MINIMUM SIZE TRAP AND TRAP ARM ⁷ (Inches)	PRIVATE	PUBLIC	ASSEMBLY ⁸
Bathtub or Combination Bath/Shower	1½	2.0	2.0	—
Bidet	1¼	1.0	—	—
Bidet	1½	2.0	—	—
Clothes Washer, domestic, standpipe ⁵	2	3.0	3.0	3.0
Dental Unit, cuspidor	1¼	—	1.0	1.0
Dishwasher, domestic, with independent drain ²	1½	2.0	2.0	2.0
Drinking Fountain or Water Cooler	1¼	0.5	0.5	1.0
Food Waste Disposer, commercial	2	—	3.0	3.0
Floor Drain, emergency	2	—	0.0	0.0
Floor Drain (for additional sizes see Section 702.0)	2	2.0	2.0	2.0
Shower, single-head trap	2 ⁹	2.0	2.0	2.0
Multi-head, each additional	2	1.0	1.0	1.0
Lavatory	1¼	1.0	1.0	1.0
Lavatories in sets	1½	2.0	2.0	2.0
Washfountain	1½	—	2.0	2.0
Washfountain	2	—	3.0	3.0
<i>Mobilehome or Manufactured Home, trap¹⁰</i>	3	6.0	—	—
Receptor, indirect waste ^{1,3}	1½	See footnote ^{1,3}		
Receptor, indirect waste ^{1,4}	2	See footnote ^{1,4}		
Receptor, indirect waste ¹	3	See footnote ¹		
Sinks	—	—	—	—
Bar	1½	1.0	—	—
Bar ²	1½	—	2.0	2.0
Clinical	3	—	6.0	6.0
Commercial with food waste ²	1½	—	3.0	3.0
Exam Room	1½	—	1.0	—
Special Purpose ²	1½	2.0	3.0	3.0
Special Purpose	2	3.0	4.0	4.0
Special Purpose	3	—	6.0	6.0
Kitchen, domestic ² (with or without food waste disposer, dishwasher, or both)	1½	2.0	2.0	—
Laundry ² (with or without discharge from a clothes washer)	1½	2.0	2.0	2.0
Service or Mop Basin	2	—	3.0	3.0
Service or Mop Basin	3	—	3.0	3.0
Service, flushing rim	3	—	6.0	6.0
Wash, each set of faucets	—	—	2.0	2.0
Nonwater Urinal with Drain Cleansing Action	2	1.0	1.0	1.0
Urinal, integral trap 1.0 GPF ²	2	2.0	2.0	5.0
Urinal, integral trap greater than 1.0 GPF	2	2.0	2.0	6.0
Urinal, exposed trap ²	1½	2.0	2.0	5.0
Water Closet, 1.6 GPF Gravity Tank ⁶	3	3.0	4.0	6.0

**TABLE 702.1
DRAINAGE FIXTURE UNIT VALUES (DFU) (continued)**

PLUMBING APPLIANCES, APPURTENANCES, OR FIXTURES	MINIMUM SIZE TRAP AND TRAP ARM ⁷ (Inches)	PRIVATE	PUBLIC	ASSEMBLY ⁸
Water Closet, 1.6 GPF Flushometer Tank ⁶	3	3.0	4.0	6.0
Water Closet, 1.6 GPF Flushometer Valve ⁶	3	3.0	4.0	6.0
Water Closet, greater than 1.6 GPF Gravity Tank ⁶	3	4.0	6.0	8.0
Water Closet, greater than 1.6 GPF Flushometer Valve ⁶	3	4.0	6.0	8.0

For SI units: 1 inch = 25 mm

Notes:

- ¹ Indirect waste receptors shall be sized based on the total drainage capacity of the fixtures that drain thereinto, in accordance with Table 702.2.
- ² Provide a 2 inch (50 mm) minimum drain.
- ³ For refrigerators, coffee urns, water stations, and similar low demands.
- ⁴ For commercial sinks, dishwashers, and similar moderate or heavy demands.
- ⁵ Buildings having a clothes-washing area with clothes washers in a battery of three or more clothes washers shall be rated at 6 fixture units each for purposes of sizing common horizontal and vertical drainage piping.
- ⁶ Water closets shall be computed as 6 fixture units where determining septic tank sizes based on Appendix H of this code.
- ⁷ Trap sizes shall not be increased to the point where the fixture discharge is capable of being inadequate to maintain their self-scouring properties.
- ⁸ Assembly [Public Use (see Table 422.1)].
- ⁹ For a bathtub to shower retrofit, a 1½ inch (40 mm) trap and trap arm shall be permitted with a maximum shower size of 36 inches (914 mm) in width and 60 inches (1524 mm) in length. See Section 408.5 and Section 408.6.
- ¹⁰ For drainage fixture unit values related to lots within mobilehome parks in all parts of the State of California, see California Code of Regulations, Title 25, Division 1, Chapter 2, Article 5, Section 1268. For drainage fixture unit values related to lots within special occupancy parks in all parts of the State of California, see California Code of Regulations, Title 25, Division 1, Chapter 2.2, Article 5, Section 2268.

required, and the unit equivalent of fixtures and devices not shown in Table 702.1 shall be based on the size of trap or trap arm.

Maximum drainage fixture units for a fixture trap and trap arm loadings for sizes up to 4 inches (100 mm) shall be in accordance with Table 702.1(1).



**TABLE 702.1(1)
MAXIMUM DRAINAGE FIXTURE UNITS FOR A TRAP AND TRAP ARM***

SIZE OF TRAP AND TRAP ARM (Inches)	DRAINAGE FIXTURE UNIT VALUES (DFU)
1¼	1 unit
1½	3 units
2	4 units
3	6 units
4	8 units

For SI Units: 1 inch = 25 mm

* **Exception:** On self-service laundries.

702.2 Intermittent Flow. Drainage fixture units for intermittent flow into the drainage system shall be computed on the rated discharge capacity in gallons per minute (gpm) (L/s) in accordance with Table 702.2.



**TABLE 702.2
DISCHARGE CAPACITY IN GALLONS PER MINUTE FOR INTERMITTENT FLOW ONLY***

GPM	FIXTURE UNITS
Up to 7½	Equals 1 Fixture Unit
Greater than 7½ to 15	Equals 2 Fixture Units
Greater than 15 to 30	Equals 4 Fixture Units
Greater than 30 to 50	Equals 6 Fixture Units

For SI units: 1 gallon per minute = 0.06 L/s

* Discharge capacity exceeding 50 gallons per minute (3.15 L/s) shall be determined by the Authority Having Jurisdiction.

702.3 Continuous Flow. For a continuous flow into a drainage system, such as from a pump, sump ejector, air conditioning equipment, or similar device, 2 fixture units shall be equal to each gallon per minute (gpm) (L/s) of flow.

703.0 Size of Drainage Piping.

703.1 Minimum Size. The minimum sizes of vertical, horizontal, or both drainage piping shall be determined from the total of fixture units connected thereto, and additionally, in the case of vertical drainage pipes, in accordance with their length.

703.2 Maximum Number of Fixture Units. Table 703.2 shows the maximum number of fixture units allowed on a vertical or horizontal drainage pipe, building drain, or building sewer of a given size; the maximum number of fixture units allowed on a branch interval of a given size; and the maximum length (in feet and meters) of a vertical drainage pipe of a given size.

703.3 Sizing per Appendix C. For alternate method of sizing drainage piping, see Appendix C.

704.0 Fixture Connections (Drainage).

704.1 Inlet Fittings. Drainage piping shall be provided with approved inlet fittings for fixture connections, correctly located according to the size and type of fixture proposed to be connected.

704.2 Single Vertical Drainage Pipe. Two fixtures set back-to-back, or side-by-side, within the distance allowed between a trap and its vent, shall be permitted to be served by a single vertical drainage pipe provided that each fixture wastes separately into an approved double-fixture fitting having inlet openings at the same level.

FEE SCHEDULE E

TRAFFIC IMPACT FEES—GENERAL INFORMATION

Traffic Impact Fees are supported by a study entitled “2005 Traffic Impact Fee Study Update”, prepared by DKS Associates, and the Interim Traffic and Park Impact Fee Study by the City of West Sacramento and Economic & Planning Systems, Inc. dated February 2010.

Fees shown reflect the 2005 study with updates through July 2009 using the ARTBA Index. Starting in January, 2011, fees were then indexed using the ENR Construction Cost Index (July) 20-City Average. Current fees have been updated to reflect the July 2023 ENRCCI of 13424.98

District Boundaries:

District 1 - Southport (with CFD (Community Facilities District (Mello-Roos))).

District 2 - West West Capitol Ave., Port of Sacramento Industrial Park, Port of Sacramento North, Northport Industrial.

District 3 - Residential West Sacramento, South West Capitol Ave., Central Business District, Iron Triangle, North West Capitol Ave. (except for parcels located in the Harbor Blvd. Assessment District).

District 4 - Broderick Reuse Area, Raley's Landing, Tower to Pioneer (RGA Triangle).

District 5 - Lighthouse Marina, Old Broderick/Bryte.

District 6 - Riverside Industrial, River Pointe Business Park, North West Capitol Ave. (only parcels within the Harbor Blvd. Assessment District).

A. FEES

Land Use Category Notes:

Outdoor Bulk Storage uses shall pay a Traffic Impact Fee based on an assumed 40% floor area. It shall be calculated on a per acre basis (acreage of use X 0.4 X 43,560 X the applicable HI or WRI fee rate). The fee shall be collected with the business license for the Outdoor Bulk Storage use. The fee shall not be collected more than one time on a given area for an Outdoor Bulk Storage Use.

Heavy Industrial category applies to uses that deal with large cargo handling or raw material transfer, storage, manufacturing, refining or processing.

Light Industrial category applies to uses such as semiconductor manufacturing, machine shops, bottling plants, printing plants, inert material manufacturing, laboratory (i.e. research, materials testing), cabinetmakers, etc.

Heavy Commercial category applies to establishments such as building material supply, lumber supply, hardware, home improvement stores and nurseries.

General Notes:

Credit against traffic impact fees shall be provided when a building permit for demolition of a previous structure of similar use on the same lot has been obtained within the five years previous to building permit issuance for a new structure.

Traffic impact fees for land uses which do not fit into the listed categories within the tables shall be evaluated by the City Traffic Engineer on a case-by-case basis by establishing a ratio of relative impacts, as identified within the ITE Codes, between the proposed land use and a similar land use listed in the tables.

Traffic impact fees will not be collected at the time of building permit issuance for a shell building, but will be collected at the time of issuance of the building permit for tenant improvements and will be charged at the rate in effect at the time of that permit.

Applicable traffic impact fees from all of the following tables will be added together to figure the overall traffic impact fee.

FEE SCHEDULE E (CONTINUED)
TRAFFIC IMPACT FEES—CITYWIDE BY DISTRICT

LAND USE CATEGORY	CITY / ITE CODE	UNIT	SOUTHPORT-DISTRICT - 1
Residential			
700 sf or less	210.01	DU	\$ 4,458
701 to 1,100 sf	210.02	DU	\$13,960
1,101 to 2,500 sf	210.03	DU	\$17,564
Greater than 2,500 sf	210.04	DU	\$22,742
Office			
150,000 sf or less	710.01	1,000 sf	\$19,783
150,001 to 300,000 sf	710.02	1,000 sf	\$24,362
Greater than 300,000 sf	710.03	1,000 sf	\$27,046
Industrial			
Light Industrial	110.00	1,000 sf	\$20,707
Heavy Industrial	120.00	1,000 sf	\$ 4,015
Warehousing	150.00	1,000 sf	\$ 9,931
Retail			
100,000 sf or less	800.01	1,000 sf	\$19,029
Greater than 100,000 sf	800.02	1,000 sf	\$28,495
Heavy Commercial	800.03	1,000 sf	\$12,374
Furniture Store	890.00	1,000 sf	\$ 5,817
Restaurant	930.01	1,000 sf	\$20,238
Restaurant w/Drive Thru	930.02	1,000 sf	\$81,897
Lodging			
Hotel/Motel	315.00	Room	\$ 12,073
Recreational			
Movie Theater	444.00	1,000 sf	\$33,456
Health Club	492.00	1,000 sf	\$18,877
Institutional			
School/Day Care	538.00	Student	\$ 1,084
Church	560.00	1,000 sf	\$ 10,431
Medical			
Hospital	610.00	1,000 sf	\$26,187
Nursing Home/ Continuing Care	620.00	1,000 sf	\$ 3,972

FEE SCHEDULE E (continued)

TRAFFIC IMPACT FEES—CITYWIDE BY DISTRICT

B. CREDITS:

The percentage of the above fee to be developer constructed and reimbursed at 12.8%. This is based on the assumption that the following projects will be developer financed and constructed:

- 5th Street
- Southport/Village Parkway
- South River Road in Triangle Area
- Lake Washington
- 40% of remaining traffic signals

C. TRAFFIC IMPACT FEE ADJUSTMENT FOR TRANSIT

The City anticipates establishing a transit funding program. Should such a program be implemented, adjustments to the traffic impact fee may be negotiated with project applicants who participate in a financing district for transit improvements that reduce traffic generation. Participation may include advance funding, formation of a financing district, or annexation to an existing financing district.

FEE SCHEDULE E (continued)

TRAFFIC IMPACT FEES—I-5 SUBREGIONAL CORRIDOR MITIGATION IN LIEU FEE

These mitigation fees for impacts to the I-5 Subregional Corridor are supported by a study entitled *Nexus Study for the I-5 Subregional Corridor Mitigation Program* by DKS, dated January 2016. Fees in this study reflect Engineering News Record's Construction Cost Index (ENRCCI) for July 2015 (10037) and will be increased annually by the ratio of the most recent July ENRCCI to the July 2015 ENR CCI.

This is a voluntary fee program, payment of which would be considered mitigation towards traffic impacts on the I-5 subregional corridor in lieu of preparing a traffic model analysis of those impacts. This fee program applies to projects which:

- 1) Meet or exceed the defined threshold of significance of 100 peak period automobile trips per day; and
- 2) Are not exempt from mitigation of traffic impacts under CEQA* or a prior agreement with the City. (if a project is not subject to CEQA, then it is not subject to this fee)

* Under SB375, Transit Priority Projects (TPPs) meeting the qualifications below are eligible for CEQA exemption, or CEQA streamlining, in which case they need not consider project-specific or cumulative impacts from cars and light-duty trucks generated by the project, and are therefore exempt from the Fee.

To be considered a TPP, a project must meet the following conditions:

- 1) Contains at least 50% residential use based on total building square footage, and if the project contains between 26% and 50% non-residential uses, a floor area ratio (FAR) of not less than 0.75;
- 2) Provides a minimum net density of 20 dwelling units per acre;
- 3) Is within a Transit Priority Project Area (TPP Area), meaning it is within ½ mile of a major transit stop or high-quality transit corridor;
- 4) Is consistent with the general use designation, density, building intensity, and applicable policies of certain sustainable community strategies (SCS) or alternative planning strategies (APS) determined to reduce greenhouse gas (GHG) emissions.

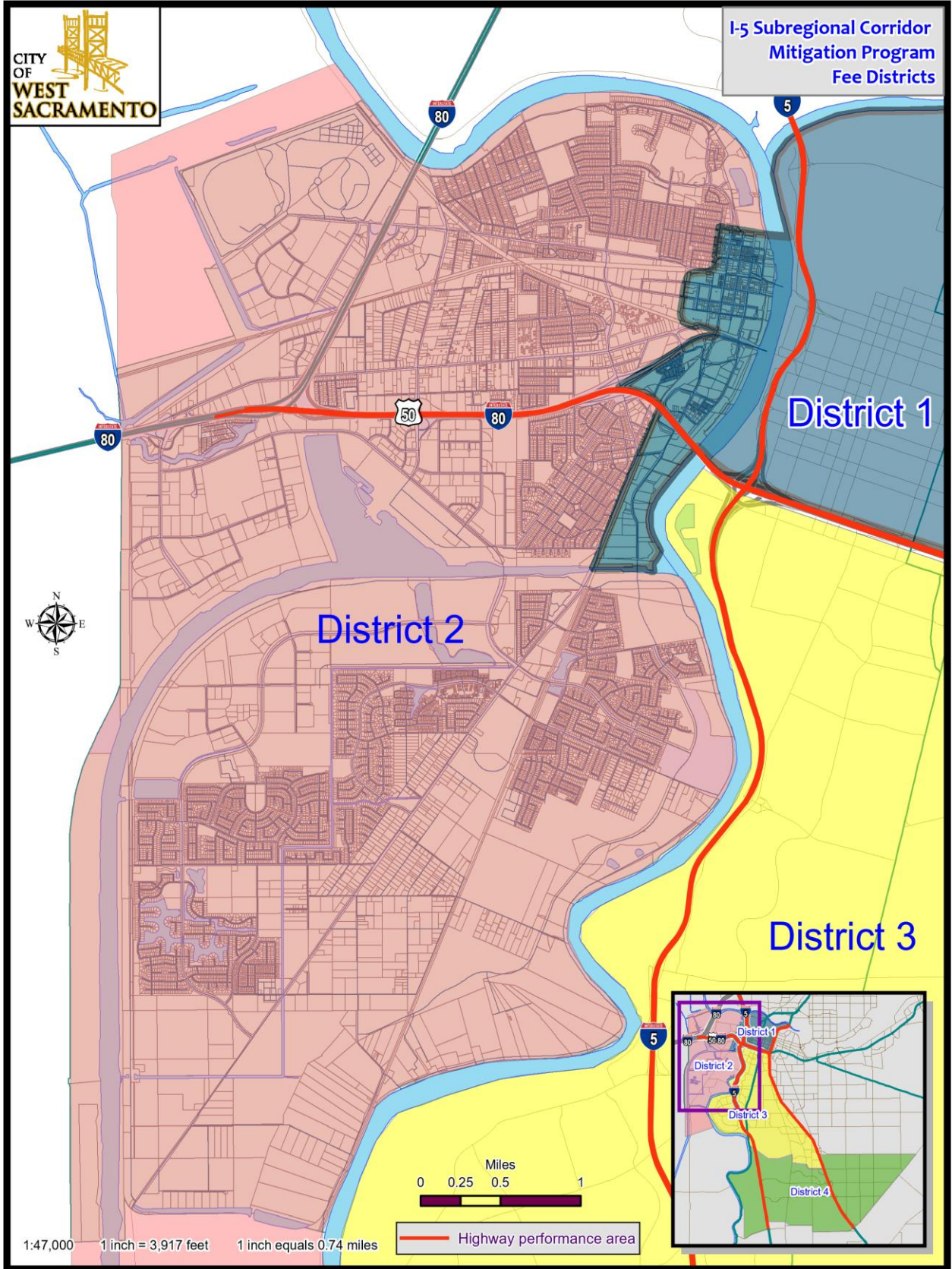
TPPs which meet all of the conditions above will be exempt from the Fee. Check with Development Engineering and Planning Staff to see if your project qualifies for Fee exemption.

See the exhibits on Pages 22 through 24 for maps of the Fee Districts and TPP Areas.

FEE SCHEDULE E (continued)

TRAFFIC IMPACT FEES—I-5 SUBREGIONAL CORRIDOR MITIGATION IN LIEU FEE

LAND USE CATEGORY	CITY / ITE CODE	UNIT	DISTRICT 1	DISTRICT 2
Residential				
700 sf or less	210.01	DU	\$1,132	\$ 980
701 to 1,100 sf	210.02	DU	\$1,622	\$1,434
1,101 to 2,500 sf	210.03	DU	\$1,848	\$1,622
Greater than 2,500 sf	210.04	DU	\$2,151	\$1,887
Office				
150,000 sf or less	710.01	1,000 sf	\$3,471	\$2,491
150,001 to 300,000 sf	710.02	1,000 sf	\$4,264	\$3,056
Greater than 300,000 sf	710.03	1,000 sf	\$4,754	\$3,396
Industrial				
Light Industrial	110.00	1,000 sf	\$2,453	\$1,736
Heavy Industrial	120.00	1,000 sf	\$1,697	\$1,208
Warehousing	150.00	1,000 sf	\$1,170	\$ 831
Retail				
100,000 sf or less	800.01	1,000 sf	\$2,339	\$1,848
Greater than 100,000 sf	800.02	1,000 sf	\$3,510	\$2,793
Heavy Commercial	800.03	1,000 sf	\$1,509	\$1,208
Furniture Store	890.00	1,000 sf	\$ 717	\$ 566
Restaurant	930.01	1,000 sf	\$2,491	\$2,000
Restaurant w/Drive Thru	930.02	1,000 sf	\$8,641	\$6,867
Lodging				
Hotel/Motel	315.00	Room	\$980	\$792
Recreational				
Movie Theater	444.00	1,000 sf	\$2,414	\$1,925
Health Club	492.00	1,000 sf	\$2,339	\$1,848
Institutional				
School, Day Care	538.00	Student	\$ 37	\$37
Church	560.00	1,000 sf	\$189	\$75
Medical				
Hospital	610.00	1,000 sf	\$3,471	\$2,491
Nursing Home/ Continuing Care	620.00	1,000 sf	\$ 679	\$ 475





I-5 Subregional Corridor Mitigation Program Fee Districts -- Detail

City of West Sacramento

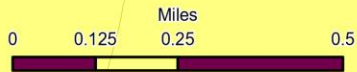
District 2

District 1

District 3

City of Sacramento

1:15,000 1 inch = 1,250 feet 1 inch equals 0.24 miles

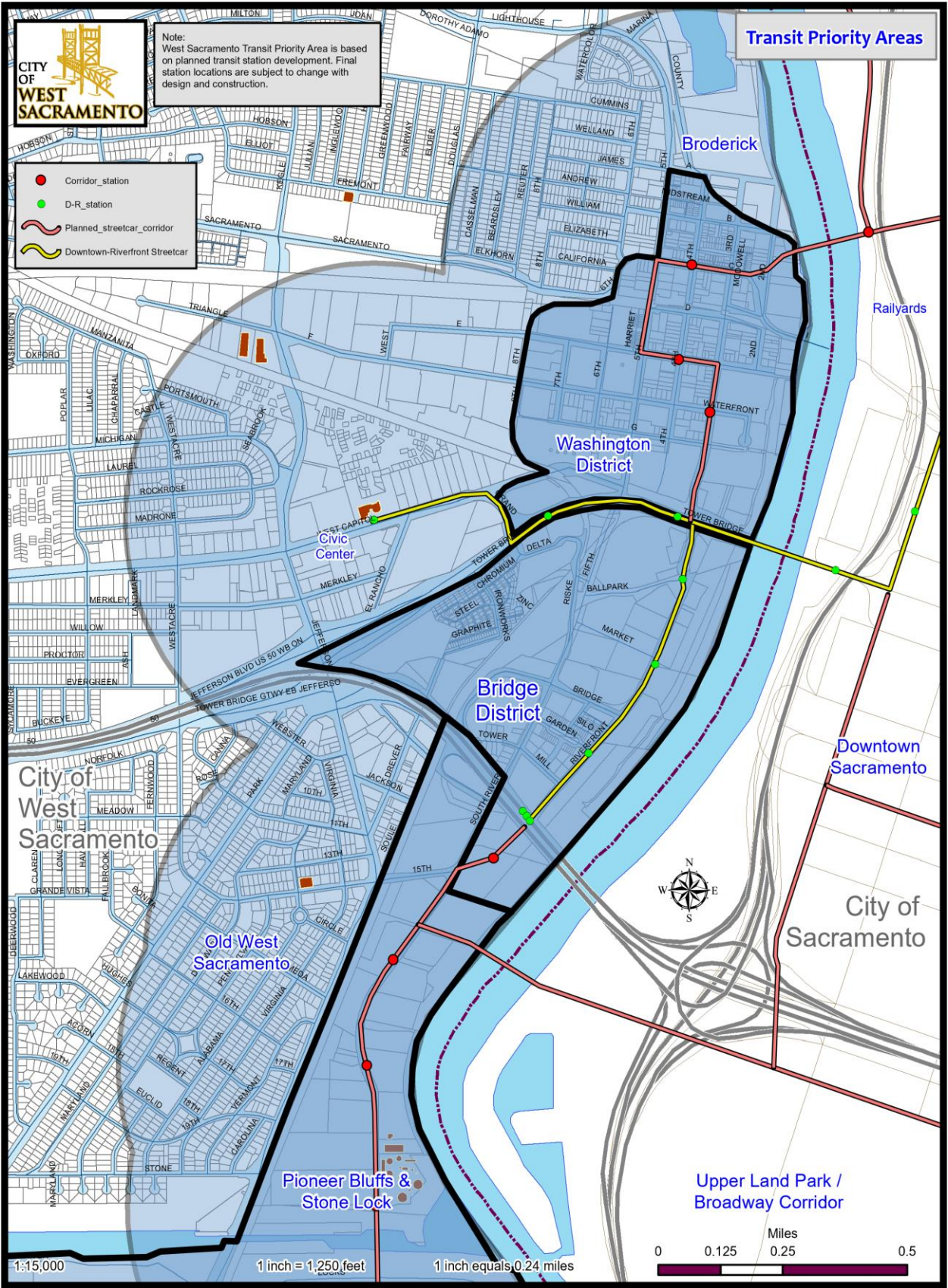




Note: West Sacramento Transit Priority Area is based on planned transit station development. Final station locations are subject to change with design and construction.

- Corridor_station
- D-R_station
- ~ Planned_streetcar_corridor
- ~ Downtown-Riverfront Streetcar

Transit Priority Areas



1:15,000

1 inch = 1,250 feet

1 inch equals 0.24 miles



FEE SCHEDULE F
DRAINAGE IMPACT FEES—SOUTHPORT

Drainage Impact Fees are supported by a study entitled “Southport Drainage Impact Fees” by Borcalli and Associates dated July 2, 1996. Fees in this study were updated by a Borcalli and Associates report dated May 11, 2001, and again by a Wood Rodgers technical analysis to combine sub-areas MC10 and MC11, dated April 15, 2004. Fees in the original study reflected the Engineering News Record’s Construction Cost Index of 6404, and have been adjusted to reflect the July 2023 index of 13424.98

For residential developments (other than rural residential and rural estates), the fee for a single parcel as shown below shall be divided by the maximum number of lots allowed under the given Land Use Category for that parcel. The Drainage Impact Fees below are in \$/unit acre unless otherwise noted.

Land Use Category	MC10/11	MC20	MC30	MC60	MC70
Low Density Residential, LR	\$40,111	-	-	\$33,349	-
Medium Density Residential, MR	\$50,359	-	\$16,014	\$37,210	-
High Density Residential, HR	\$69,784	-	\$22,345	\$50,096	-
Neighborhood Commercial, NC	\$78,302	\$62,343	-	\$58,419	-
Community Commercial, CC	-	-	\$22,345	-	\$22,345
General Commercial, GC	\$65,064	-	-	-	-
Business Park, BP	-	\$62,343	-	\$58,461	-
Mixed Use, MU	\$65,196	-	-	\$45,516	-
Riverfront Mixed Use, RMU	\$65,196	\$52,819	-	-	-
Light Industrial, LI	-	\$60,440	-	\$55,886	-
Heavy Industrial, HI	-	-	-	\$55,880	-
Water-Related Industrial, WRI	\$75,681	\$60,440	-	-	-
Public/Quasi-Public, PQP	\$57,728	-	-	-	-

Land Use Category	MC71	MC80	NC10	NC20	NC23	SC10
Low Density Residential, LR	\$41,921	\$37,460	\$38,361	\$40,405	-	\$35,344
Medium Density Residential, MR	-	\$47,495	\$48,516	\$50,832	-	\$45,097
High Density Residential, HR	-	\$66,169	\$67,592	-	-	\$62,834
Neighborhood Commercial, NC	-	\$74,194	\$75,877	-	\$22,345	\$70,246
Community Commercial, CC	-	-	-	-	-	-
General Commercial, GC	-	-	-	-	-	-
Business Park, BP	-	-	-	-	-	-
Mixed Use, MU	-	-	-	-	-	-
Riverfront Mixed Use, RMU	-	-	-	-	-	-
Light Industrial, LI	-	-	-	-	-	-
Heavy Industrial, HI	-	-	-	-	-	-
Water-Related Industrial, WRI	-	-	-	-	-	-
Public/Quasi-Public, PQP	-	\$51,815	-	-	-	\$49,090

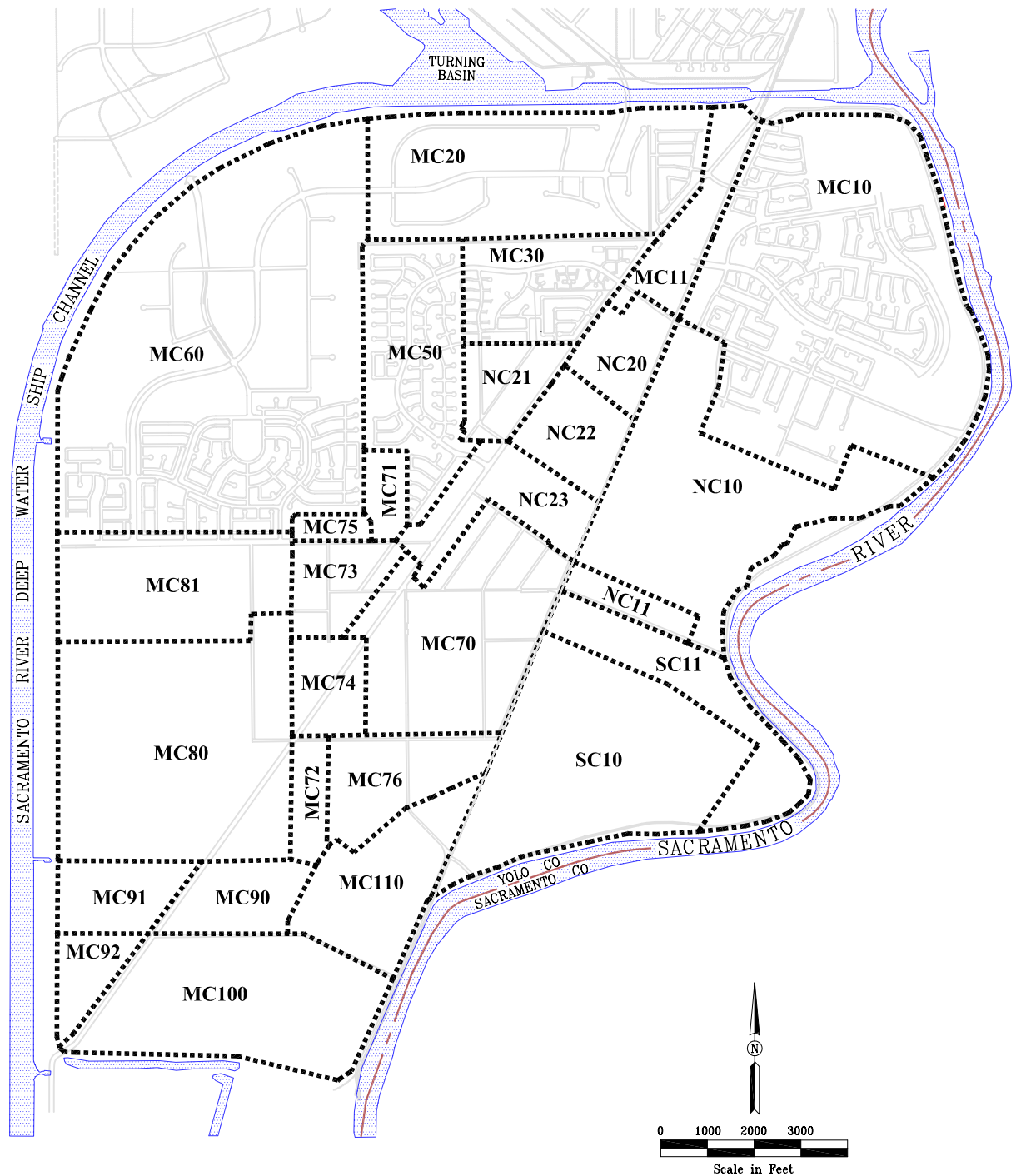
Rural Estates (RE) in sub-areas MC70, MC73, MC74, MC75, MC81, and SC11 will be charged **\$5,216.00 per dwelling unit**.

Rural Residential (RR) in sub-areas MC10/11, MC70, MC73, NC10, NC11, NC22, NC23, and SC11 will be charged **\$2,929.00 per dwelling unit**.

FEE SCHEDULE F (CONTINUED)
DRAINAGE IMPACT FEES—SOUTHPORT (CONTINUED)

STORM DRAINAGE FEE CREDITS

- A. Credits against fees for the following components of drainage facilities are provided for past performance (cash payments, land dedications, constructed improvements, etc.) in accordance with the Southport Drainage Master Plan, dated May 11, 2001, Appendix C, Tables C-12 through C-45, as amended by the ENR CCI:
- Sub-basin Specific Drainage Facilities
 - Common Drainage Facilities
 - Exempt Land Cost
- B. Green Building drainage fee adjustment: Project applicants that demonstrate green building techniques in excess of minimum building code requirements may be eligible for adjustment to the City drainage impact fees. The adjustment would be proportionate to the reduction in impact to the drainage system funded through the fee program. An estimate of the reduction in drainage system impact and fee amount is required by the applicant, along with substantiating evidence. The City Manager's concurrence with the applicant's findings is required prior to granting a drainage fee adjustment.



LEGEND

- STORM DRAIN BOUNDARY
- MC11** BOUNDARY NAME LABELS

CITY OF WEST SACRAMENTO
SOUTHPORT DRAINAGE MASTER PLAN UPDATE

STORM DRAIN IMPACT FEE MAP

BORCALLI & ASSOCIATES, INC.
SACRAMENTO, CALIFORNIA

FEE SCHEDULE G
PARK IMPACT FEE

Fees are supported by the Parks, Recreation and Open Space Master Plan prepared by PROS Consulting, dated April 17, 2019 (the “2019 Master Plan”) and the 2021 Parks, Recreation and Open Space Master Plan Impact Fee Analysis (the “2021 Fee Analysis”), which included a 10-year Capital Improvement Program (CIP) reflecting land acquisition and construction of park, trail and recreation facility improvements based on recent project costs and Department estimated facility costs. The 2021 Fee Analysis applied a 5% cost escalator to the estimated total CIP costs identified in the 2019 Maser Plan. Costs associated with more recent planning efforts/development projects in the City have been incorporated, including: Washington Realized, The Bridge District, Yarbrough, Pioneer Bluff, Stone Lock, River Park, and Liberty. The total value of the 2019 Master Plan CIP is \$180 million. Of this amount, \$112 million in capital improvements are estimated to be funded with the Park Impact Fee. The balance is estimated to be funded through other sources of funding, including grant funding, public/private partnerships, sales tax measure funding and/or other appropriate impact fee funding.

Estimated costs and impact fees within the above mentioned plans have been updated to the July 2023 ENR construction cost index.

A. RESIDENTIAL FACILITIES

	<u>Neighborhood Fee</u>	<u>Community Fee</u>	<u>Total Fee</u>
Single Family Dwelling	\$2,150 / DU	\$11,024 / DU	\$13,174 / DU
Multi-Family Dwelling	\$1,763 / DU	\$9,040 / DU	\$10,803 / DU

B. NON-RESIDENTIAL FACILITIES

	<u>Neighborhood Fee</u>	<u>Community Fee</u>	<u>Total Fee</u>
Commercial	\$0 / SF	\$1.43 / SF	\$1.43 / SF
Office	\$0 / SF	\$2.02 / SF	\$2.02 / SF
Industrial*	\$0 / SF	\$1.00 / SF	\$1.00 / SF

*Note: At the approval of the City Manager, staff may prepare a specialty fee calculation based on the Interim Traffic and Park Impact Fee Study for an industrial applicant who believes that the employment density of his/her project varies substantially from the general industrial category of 750sf per employee. Information must be provided by the applicant substantiating the employment density of the project. Applicant may be charged for staff time to prepare fee calculation.

C. ADMINISTRATIVE CHARGE

The Park Impact Fee set forth in Section A and B includes a 1% Administrative Charge. The purpose of the Administrative Charge is to cover all costs incurred by the City to establish and administer the collection of this fee in accordance with the regulations set forth in AB 1600.

D. CREDITS

Additionally, the City Manager may provide credits against the Park Impact Fees for a previous structure of similar use on the same lot that was lawfully demolished within five years of the building permit issuance for a new structure.

FEE SCHEDULE H
FIRE FACILITIES DEVELOPMENT FEE

Fire Facility Development Fees are supported by a nexus study attached entitled "Analysis of the Impacts of Development on Fire, Police and Corporation Yard Facilities" by Citygate Associates, dated June 1, 2005. Fees in this study, reflecting the Engineering News Record's Construction Cost Index of 7422, have been indexed to reflect the July 2023 index of 13424.98

<u>Development Type</u>	<u>Fee/ Unit¹</u>
Residential >2,500 Sq. Ft.	\$1,703 / DU
Residential >1,100 – 2,500 Sq. Ft.	\$1,562 / DU
Residential <1,100 Sq. Ft	\$1,230 / DU
Retail/Service Commercial	\$ 946 / KSF
Office/Business Park	\$1,576 / KSF
Industrial	\$ 631 / KSF

¹ DU = dwelling unit; KSF = 1,000 gross square feet of building area

FEE SCHEDULE I
POLICE FACILITIES DEVELOPMENT FEE

Police Facility Development Fees are supported by a nexus study attached entitled "Analysis of the Impacts of Development on Fire, Police and Corporation Yard Facilities" by Citygate Associates, dated June 1, 2005. Fees in this study, reflecting the Engineering News Record's Construction Cost Index of 7422, have been indexed to reflect the July 2023 index of 13424.98

<u>Development Type</u>	<u>Fee/ Unit¹</u>
Residential >2,500 Sq. Ft.	\$1,672 / DU
Residential >1,100 - 2,500 Sq. Ft.	\$1,533 / DU
Residential <1,100 Sq. Ft	\$1,208 / DU
Retail/Service Commercial	\$ 929 / KSF
Office/Business Park	\$1,547 / KSF
Industrial	\$ 619 / KSF

¹ DU = dwelling unit; KSF = 1,000 gross square feet of building area

FEE SCHEDULE J
CORPORATION YARD FACILITIES DEVELOPMENT FEE

Corporation Yard Facility Development Fees are supported by a nexus study attached entitled "Analysis of the Impacts of Development on Fire, Police and Corporation Yard Facilities" by Citygate Associates, dated June 1, 2005. Fees in this study, reflecting the Engineering News Record's Construction Cost Index of 7422, have been indexed to reflect the July 2023 index of 13424.98

<u>Development Type</u>	<u>Fee/ Unit¹</u>
Residential >2,500 Sq. Ft.	\$1,275 / DU
Residential >1,100 - 2,500 Sq. Ft.	\$1,169 / DU
Residential <1,100 Sq. Ft	\$ 921 / DU
Retail/Service Commercial	\$ 709 / KSF
Office/Business Park	\$1,180 / KSF
Industrial	\$ 472 / KSF

¹ DU = dwelling unit; KSF = 1,000 gross square feet of building area

FEE SCHEDULE K
CITY HALL FACILITIES DEVELOPMENT FEE

City Hall Facility Development Fees are supported by a nexus study attached entitled "Analysis of the Impacts of Development on Fire, Police and Corporation Yard Facilities" by Citygate Associates, dated June 1, 2005. Fees in this study, reflecting the Engineering News Record's Construction Cost Index of 7422, have been indexed to reflect the July 2023 index of 13424.98

<u>Development Type</u>	<u>Fee/ Unit¹</u>
Residential >2,500 Sq. Ft.	\$932 / DU
Residential >1,100 - 2,500 Sq. Ft.	\$855 / DU
Residential <1,100 Sq. Ft	\$673 / DU
Retail/Service Commercial	\$518 / KSF
Office/Business Park	\$863 / KSF
Industrial	\$345 / KSF

¹ DU = dwelling unit; KSF = 1,000 gross square feet of building area

FEE SCHEDULE L
CHILDCARE IMPACT FEE

Childcare Impact Fees are supported by a Keyser Marston Associates study entitled “Child Care Demand Analysis” dated August 1994. In a follow-up review dated November 18, 2003, Keyser Marston Associates found the fee program identified in the study still valid. Estimated facility costs and corresponding fees in the study have been indexed from the July 2003 (6695) values to July 2023 (13424.98) values.

<u>Land Use</u>	<u>Fee</u>
Residential	
Up to 600sf	\$100 / DU
601 – 1,000sf	\$301 / DU
1,001 – 1,400sf	\$501 / DU
1,401sf or greater	\$802 / DU
Hotel	\$241 / KSF
Retail	\$602 / KSF
Office	\$802 / KSF
Industrial	\$241 / KSF

The fee for multifamily residential is calculated by treating each unit separately. For example, a duplex with two 1,000sf units would pay a total fee of \$602.

This fee is levied on construction of new buildings, upgrade from one size category to another, or change of use. Fees will be placed in a Childcare Development Fund which may be used toward the acquisition of property for childcare facilities, construction or expansion of childcare facilities, and facilities for before- and after-school care. Facilities for childcare may also include a preschool component

Alternatives to payment of the fee can be found in Chapter 17-47 of the Municipal Code.

FEE SCHEDULE M

BRIDGE DISTRICT SPECIAL TAXES

Tiers 2 & 3 of this schedule are replaced by Schedule N

The Bridge District (formally called the Triangle Area) is a planned urban community located along the banks of the Sacramento River bounded by Tower Bridge to the north and Pioneer Bridge to the south. The Bridge District Special Tax Program Fees were established on December 16, 2009 by City Council adoption of the *Resolution of Intention to Establish Community Facilities District No. 27*, prepared by Economic and Planning Systems, Inc. Fees in this study, reflecting July 2009 Engineering News Record's Construction Cost Index of 8566, have been adjusted to reflect the July 2023 index of 13424.98

A. REGIONAL ONE TIME SPECIAL TAXES (Regional OTSTs)

Regional OTSTs replace the payment of specific development impact fees currently required by the City's Book of Fees for Bridge District developments. The following required impact fees are replaced by the corresponding Regional OTSTs:

- Water (debt service towards the water treatment plant)
- Sewer Collections
- Police Facilities
- Fire Facilities
- Corporation Yard
- City Hall Addition
- Childcare Facilities

B. BRIDGE DISTRICT ONE TIME SPECIAL TAX (Bridge OTST)

The Bridge OTST will be used to fund the construction of Bridge District Authorized Facilities, including all Annual Cost Items such as debt service on the CFD bonds, as necessary.

C. GENERAL NOTES

Tiered OTSTs:

All OTSTs (Regional and Bridge) have been tiered to provide lower fee burdens to the earlier phases of development. All three tiers reflect reduced special taxes representing the application of urban standards to the Bridge District's proportionate allocation of costs for select facilities. The three development tiers are summarized below:

- Tier 1: First 1 million building square feet
- Tier 2: Between 1 million and 6 million building square feet
- Tier 3: More than 6 million building square feet

Calculation of OTSTs will be based on the Developed Land Area derived from the building permit application and/or other development records.

Additional fees may be required in the form of a Density Adjustment if the project does not meet minimum floor area ratios (FARs) of 1.5 for residential development and 2.0 for non-residential development.

FEE SCHEDULE M (CONTINUED)

BRIDGE DISTRICT SPECIAL TAXES (CONTINUED)

Tiers 2 & 3 of this schedule are replaced by Schedule N

C. GENERAL NOTES (cont.)

The Developer may request a Supplemental Special Tax Rate in order to reduce the amount of the Bridge OTST. Such request must be submitted to the Finance Department prior to the issuance of the engineering permit(s) for the project.

All OTSTs will be due and payable prior to final inspection. Final inspection may be delayed until OTSTs are paid in full.

OTSTs only replace certain required impact fees. For clarification, the following fees/requirements are still applicable in the Bridge District, including, but not limited to:

- Flood requirements in the form of construction or the In-Lieu Flood Payment Option
- Any affordable housing requirements in the form of in-lieu fees or land dedication
- All application, plan review, inspection, and entitlement processing fees
- Fees collected for outside agencies such as Sacramento Regional Sanitation District (SRCSD), Yolo County Health (YCEH), Washington Unified School District, etc.

OTST RATES:

Bridge OTST

	Tier 1	Tier 2	Tier 3
All uses	\$2.41	\$12.04	\$14.45

Regional OTST

Residential	Tier 1	Tier 2	Tier 3
Water	\$2.84	\$2.84	\$2.84
Sewer	-	\$4.18	\$4.18
Police Facilities	-	\$1.57	\$1.57
Fire Facilities	\$1.25	\$1.25	\$1.25
Corporation Yard	-	\$1.58	\$1.58
City Hall Addition	-	\$0.88	\$0.88
Childcare Facilities	-	\$0.63	\$0.63
Total	\$4.09	\$12.93	\$12.93

FEE SCHEDULE M (CONTINUED)

BRIDGE DISTRICT SPECIAL TAXES (CONTINUED)

Tiers 2 & 3 of this schedule are replaced by Schedule N

Regional OTSTs (cont.)

<i>Office</i>	Tier 1	Tier 2	Tier 3
Water	\$0.49	\$0.49	\$0.49
Sewer	-	\$1.22	\$1.22
Police Facilities	-	\$2.88	\$2.88
Fire Facilities	\$2.62	\$2.62	\$2.62
Corporation Yard	-	\$2.90	\$2.90
City Hall Addition	-	\$1.60	\$1.60
Childcare Facilities	-	\$0.97	\$0.97
Total	\$3.11	\$12.68	\$12.68

<i>Retail</i>	Tier 1	Tier 2	Tier 3
Water	\$0.49	\$0.49	\$0.49
Sewer	-	\$1.22	\$1.22
Police Facilities	-	\$1.72	\$1.72
Fire Facilities	\$1.58	\$1.58	\$1.58
Corporation Yard	-	\$1.74	\$1.74
City Hall Addition	-	\$0.97	\$0.97
Childcare Facilities	-	\$1.50	\$1.50
Total	\$2.07	\$9.22	\$9.22

FEE SCHEDULE N
URBAN INFILL FEE REDUCTION PROGRAM
CITY OF WEST SACRAMENTO BOOK OF FEES

Description	Authority	Effective Date
BRIDGE DISTRICT SPECIAL TAX FEES	Ordinance 10-10 Inflationary Adjustment Resolution 24-20	May 19, 2010 Jan. 1, 2024 July 1, 2024

Fee Schedule

The Bridge District (formally called the Triangle Area) is a planned urban community located along the banks of the Sacramento River bounded by Tower Bridge to the north and Pioneer Bridge to the south. The Bridge District Special Tax Program Fees were established on December 16, 2009, by City Council adoption of the *Resolution of Intention to Establish Community Facilities District No. 27*, prepared by Economic and Planning Systems, Inc. The Regional One-Time Special Tax fees in this study, reflecting July 2009 Engineering News Record's Construction Cost Index of 8566, have been adjusted to reflect the July 2023 index of 13425. The Bridge District One-Time Special Tax fees in this study, reflecting the March 2009 index of 8534, have been adjusted to reflect the July 2023 index of 13425.

A. Regional One-Time Special Taxes (Regional OTST's)

Regional OTSTs replace the payment of specific development impact fees currently required by the City's Book of Fees for Bridge District developments. The following required impact fees are replaced by the corresponding Regional OTSTs:

- Water (debt service towards the water treatment plant)
- Sewer Collections
- Police Facilities
- Fire Facilities
- Corporation Yard
- City Hall Addition
- Childcare Facilities

B. Bridge District One-Time Special Tax (Bridge OTST)

The Bridge OTST will be used to fund the construction of Bridge District Authorized Facilities, including all Annual Cost Items such as debt service on the CFD bonds, as necessary.

C. General Notes

Tiered OTSTs

All OTSTs (Regional and Bridge) have been tiered to provide lower fee burdens to the earlier phases of development. All three tiers reflect reduced special taxes representing the application of urban standards to the Bridge District's proportionate allocation of costs for select facilities. The three development tiers are summarized below:

- Tier 1: First 1 million building square feet
- Tier 2: Between 1 million and 6 million building square feet
- Tier 3: More than 6 million building square feet

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
BRIDGE DISTRICT SPECIAL TAX FEES	Ordinance 10-10 Inflationary Adjustment Resolution 24-20	May 19, 2010 Jan. 1, 2024 July 1, 2024

Fee Schedule

Calculation of OTSTs will be based on the Developed Land Area derived from the building permit application and/or other development records.

Additional fees may be required in the form of a Density Adjustment if the project does not meet minimum floor area ratios (FARs) of 1.5 for residential development and 2.0 for non-residential development.

The Developer may request a Supplemental Tax Rate to reduce the amount of the Bridge OTST. Such requests must be submitted to the Finance Division prior to the issuance of the engineering permit(s) for the project.

All OTSTs will be due and payable prior to final inspection. Final inspection may be delayed until OTSTs are paid in full.

OTSTs only replace certain required impact fees. For clarification, the following fees/requirements are still applicable in the bridge district including, but not limited to:

- Flood requirements in the form of construction or the In-Lieu Flood Payment option
- Any affordable housing requirements in the form of in-lieu fees or land dedication
- All applications, plan review, inspection, and entitlement processing fees
- Fees collected for outside agencies such as Sacramento Regional Sanitation District (SRCSD), Yolo County Health (YCEH), Washington Unified School District, etc.

D. Fee Schedule

Bridge OTST

	Tier 1	Tier 2	Tier 3
All uses	\$2.41	\$6.02	\$14.45

Regional OTST

Residential	Tier 1	Tier 2	Tier 3
Water	\$2.84	\$1.14	\$2.84
Sewer	-	\$1.67	\$4.18
Police Facilities	-	\$0.63	\$1.57
Fire Facilities	\$1.25	\$0.50	\$1.25
Corporation Yard	-	\$0.63	\$1.58
City Hall Addition	-	\$0.35	\$0.88
Childcare Facilities	-	-	\$0.63
Total:	\$4.09	\$4.92	\$12.93

Office	Tier 1	Tier 2	Tier 3
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CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
BRIDGE DISTRICT SPECIAL TAX FEES	Ordinance 10-10 Inflationary Adjustment Resolution 24-20	May 19, 2010 Jan. 1, 2024 July 1, 2024

Fee Schedule Office	Tier 1	Tier 2	Tier 3
Water	\$0.49	\$0.27	\$0.49
Sewer	-	\$0.68	\$1.22
Police Facilities	-	\$1.61	\$2.88
Fire Facilities	\$2.62	\$1.47	\$2.62
Corporation Yard	-	\$1.62	\$2.90
City Hall Addition	-	\$0.90	\$1.60
Childcare Facilities	-	-	\$0.97
Total:	\$3.11	\$6.55	\$12.68
Retail	Tier 1	Tier 2	Tier 3
Water	\$0.49	\$0.27	\$0.49
Sewer	-	\$0.68	\$1.22
Police Facilities	-	\$0.96	\$1.72
Fire Facilities	\$1.58	\$0.88	\$1.58
Corporation Yard	-	\$0.97	\$1.74
City Hall Addition	-	\$0.54	\$0.97
Childcare Facilities	-	-	\$1.50
Total:	\$2.07	\$4.30	\$9.22

HISTORY:

AUTHORITY	DATE	ACTION
Ord. 10-10	05/19/2010	Adopt Ordinance
	07/01/2019	Annual Update
Resolution 24-20	04/10/2024	Urban Infill Fee Reduction Program Expansion

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
CHILDCARE IMPACT FEE	Resolution 03-125 Resolution 22-84 Inflationary Adjustment Resolution 24-20	Feb. 23, 2004 Sept. 19, 2022 Jan. 1, 2024 July 1, 2024

Childcare Impact Fees are supported by a Keyser Marston Associates study entitled *Child Care Demand Analysis* dated August 1994. In a follow-up review dated November 18, 2003, Keyser Marston Associates found the fee program identified in the study is still valid. Estimated facility costs and corresponding fees in the study have been indexed from July 1, 2003 (6695) to July 1, 2023 (13425).

Fee Schedule

<u>Land Use</u>	<u>Units</u>	<u>Fee</u>	<u>Urban Infill Fee Reduction Program Expansion</u>
Residential	du*	\$100	\$0
≤600 sf			
600 – 1000 sf	du	\$301	\$0
1001 – 1400 sf	du	\$501	\$0
>1400 sf	du	\$802	\$0
Hotel	kbsf*	\$241	\$0
Retail	kbsf	\$602	\$0
Office	kbsf	\$802	\$0
Industrial	kbsf	\$241	\$0

*Note: du = dwelling unit; ksf = 1,000 square feet

The fee for multifamily residential is calculated by treating each unit separately.

Fee is levied on construction of new buildings only. Fees will be placed in a Childcare Development Fund. Fees in this fund may be used toward the acquisition of property and equipment for childcare facilities, construction or expansion of childcare facilities, facilities for before- and after-school care. Facilities for childcare may also include a preschool component.

Alternatives to payment of the fee can be found in Chapter 17-47 of the Municipal Code. If an alternative other than those specifically provided in 17.47.020 is to be considered, the requesting party must submit a detailed proposal describing the alternative plan along with a financial analysis comparing the proposal to the fee and with justification supporting how the proposal addresses childcare needs in the community

HISTORY:

AUTHORITY	DATE	ACTION
Res. 03-125	12/23/03	Approve fee schedule
Res. 22-84	9/19/22	Adoption of targeted impact fee reform program in Central Business District and Washington District
Res. 24-20	4/10/2024	Adoption of Urban Infill Expansion Fee Reduction Program

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
CITY HALL FACILITIES DEVELOPMENT FEE	Resolution 06-11 Resolution 22-84 Inflationary Adjustment Resolution 24-20	Mar. 27, 2006 Sept. 19, 2022 Jan. 1, 2024 July 1, 2024

City Hall Facility Development Fees are supported by a Nexus Study entitled, *Analysis of the Impacts of Development on Fire, Police and Corporation Yard Facilities by Citygate Associates*, revised October, 2005. Fees in this study, reflecting Engineering News Record's Construction Cost Index of 7422, have been adjusted to reflect the July 2023 Index of 13425.

Fee Schedule

<u>Development Type</u>	<u>Dev Units¹</u>	<u>City Hall Impact Fees</u>	<u>Urban Infill Fee Reduction Program Expansion</u>
Residential > 2500 Sq. Ft.	du	\$932	\$373
Residential 1100-2500 Sq. Ft.	du	\$855	\$343
Residential < 1100 Sq. Ft.	du	\$673	\$270
Retail/Service Commercial	kbsf	\$518	\$290
Office/Business Park	kbsf	\$863	\$482
Industrial	kbsf	\$345	\$193

¹ du = dwelling unit; kbsf = 1,000 gross square feet of building area

HISTORY:

AUTHORITY	DATE	ACTION
Res. 06-11	1/18/06	Approve fee schedule
Res. 22-84	9/19/22	Adoption of targeted impact fee reform program in Central Business District and Washington District
Res. 24-20	4/10/24	Adoption of Urban Infill Fee Reduction Program Expansion

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
CORPORATION YARD FACILITIES DEVELOPMENT FEE	Resolution 05-82 Resolution 22-84 Inflationary Adjustment Resolution 24-20	Nov. 7, 2005 Sept. 19, 2022 Jan. 1, 2024 July 1, 2024

Corporation Yard Facility Development Fees are supported by a Nexus Study entitled Analysis of the Impacts of Development on Fire, Police and Corporation Yard Facilities by Citygate Associates, dated June 1, 2005. Fees in this study, reflecting Engineering News-Record's Construction Cost Index of 7422, have been adjusted to reflect the July 2023 Index of 13425.

Fee Schedule

<u>Development Type</u>	<u>Dev Units¹</u>	<u>Corp Yard Impact Fees</u>	<u>Urban Infill Fee Reduction Program Expansion</u>
Residential > 2500 Sq. Ft.	du	\$ 1,275	\$510
Residential 1100-2500 Sq. Ft.	du	\$ 1,169	\$467
Residential < 1100 Sq. Ft.	du	\$ 921	\$369
Retail/Service Commercial	kbsf	\$ 709	\$398
Office/Business Park	kbsf	\$ 1,180	\$661
Industrial	kbsf	\$ 472	\$264

¹ du = dwelling unit; kbsf = 1,000 gross square feet of building area

HISTORY:

AUTHORITY	DATE	ACTION
Res. 05-82	9/7/05	Approve fee schedule
Res. 22-84	9/19/22	Adoption of targeted fee reform program in Central Business District and Washington District
Res. 24-20	4/10/24	Adoption of Urban Infill Fee Reduction Program Expansion

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
FIRE FACILITIES DEVELOPMENT FEES	Resolution 05-82 Resolution 22-84 Inflationary Adjustment Resolution 24-20	Nov. 7, 2005 Sept. 19, 2022 Jan. 1, 2024 July 1, 2024

Fire Facility Development Fees are supported by a Nexus Study entitled *Analysis of the Impacts of Development on Fire, Police and Corporation Yard Facilities* by Citygate Associates, dated June 1, 2005. Fees in this study, reflecting Engineering News-Record's Construction Cost Index of 7422, have been adjusted to reflect the July 2023 Index of 13425.

Fee Schedule

<u>Development Type</u>	<u>Dev Units¹</u>	<u>Fire Impact Fees</u>	<u>Urban Infill Fee Reduction Program Expansion</u>
Residential > 2500 Sq. Ft.	du	\$1,703	\$681
Residential 1100-2500 Sq. Ft.	du	\$1,562	\$624
Residential < 1100 Sq. Ft.	du	\$1,230	\$492
Retail/Service Commercial	kbsf	\$946	\$530
Office/Business Park	kbsf	\$1,576	\$882
Industrial	kbsf	\$631	\$353

¹ du = dwelling unit; kbsf = 1,000 gross square feet of building area

HISTORY:

AUTHORITY	DATE	ACTION
Res. 05-82	9/7/05	Update fee schedule
Res. 22-84	9/19/22	Adoption of targeted impact fee reform program in Central Business District and Washington District
Res. 24-20	4/10/24	Adoption of Urban Infill Fee Reduction Program Expansion

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
FLOOD PROTECTION IN-LIEU FEE	Resolution 07-34 Resolution 22-84 Resolution 23-38 Inflationary Adjustment Resolution 24-20	Jul. 2, 2007 Sept. 19, 2022 June 7, 2023 Jan. 1, 2024 July 1, 2024

Fee Schedule

Chapter 15.50 of the City of West Sacramento Municipal Code provides that developers demonstrate that, prior to occupancy, new structures have two-hundred-year flood protection through either: (i) the construction of flood improvements or other mitigation measures beyond those otherwise required by the City's Flood Plan Management Ordinance (Title 18); or (ii) the payment to the City of an in-lieu fee.

The various amounts of these in-lieu fees are supported by a study entitled *West Sacramento Flood Protection In-Lieu Fee Study*, by Economic & Planning Systems, dated April 11, 2007. Fees in this study shall be adjusted each succeeding January 1st, commencing January 1, 2008, to reflect inflationary costs. The fees shall be increased by the ratio which the Engineering News-Record's Construction Cost Index (20 cities) for the most recent July index.

A. FEES

Land Use ³	Summary of Flood Protection In-Lieu Fees (2024)		
	Zone 1 ¹	Zone 2 ¹	Urban Infill Fee Reduction Program Expansion
Residential	<i>Per Dwelling Unit</i>		
Single-Family ²			
<1,100 sq. ft.	\$380	\$1,913	\$764
1,101-2,500 sq. ft.	\$621	\$3,132	\$1,253
>2,500 sq. ft.	\$863	\$4,348	\$1,739
Multi-Family ⁴			
<900 sq. ft.	\$131	\$1,542	\$616
>900 sq. ft.	\$196	\$2,313	\$925
Commercial			
Per 1,000 Building Square Feet			
Retail	\$791	\$3,979	\$2,228
Office	\$512	\$3,715	\$2,080
Industrial	\$189	\$1,784	\$1,000

1 Zone 1 includes the Triangle Area and Pioneer Bluff east of South River Road (high ground) and Zone 2 is the rest of the City except the boundary of the Urban Infill Fee Reduction Program.

2 Gross building square feet

3 Land uses are defined as follows:

Single-Family- This designation provides for single-family homes and duplexes, and similar uses.

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
FLOOD PROTECTION IN-LIEU FEE	Resolution 07-34 Resolution 22-84 Resolution 23-38 Inflationary Adjustment Resolution 24-20	Jul. 2, 2007 Sept. 19, 2022 June 7, 2023 Jan. 1, 2024 July 1, 2024

Fee Schedule

Multi-Family-	This designation provides for multi-family units, triplex units, higher density housing, and similar uses.
Retail-	This designation provides for light retail, including but not limited to eating and drinking establishments, grocery stores, and general merchandise, and similar uses.
Office-	This designation provides for professional and administrative offices, medical and dental clinics, laboratories, financial institutions, and similar uses.
Industrial-	This designation provides for industrial parks, heavy retail, sales, services, wholesale commercial, warehouses, distribution centers, fuel storage, trucking terminals, railroad facilities, manufacturing, and similar uses.
Mixed Use-	This designation provides for development projects that are a combination of the other land use classifications. Mixed use development will be proportionally computed to the percentage of land use in each category.

- 4 Varying the multi-family fee for two unit sizes is calculated by dividing the multi-family fee by the average size of multi-family units (900 sq. ft.) and applying that amount to a 600 sq. ft. unit, which is reflective of an average size unit in the under 900 sq. ft. category.

HISTORY:

AUTHORITY	DATE	ACTION
Res. 06-5	1/18/06	Adopt fee schedule
Res. 22-84	9/19/22	Adoption of targeted impact fee reform program in Central Business District and Washington District
Res. 23-38	6/7/23	Update indexing from December ENR to July ENR
Res.24-20	4/10/24	Adoption of Urban Infill Expansion Fee Reduction Program

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
PARK IMPACT FEES	Resolution 21-67 Plan Update	Apr. 1, 2011
	Resolution 22-84	Sept. 19, 2022
	Resolution 22-130	Oct. 19, 2022
	Inflationary Adjustment	Jan. 1, 2024
	Resolution 24-20	July 1, 2024

Fees are supported by the Parks, Recreation and Open Space Master Plan prepared by PROS Consulting, dated April 17, 2019 (the “2019 Master Plan”) and the 2021 Parks, Recreation and Open Space Master Plan Impact Fee Analysis (the “2021 Fee Analysis”), which included a 10-year Capital Improvement Program (CIP) reflecting land acquisition and construction of park, trail and recreation facility improvements based on recent project costs and Department estimated facility costs. The 2021 Fee Analysis applied a 5% cost escalator to the estimated total CIP costs identified in the 2019 Master Plan. Costs associated with more recent planning efforts/development projects in the City have been incorporated, including: Washington Realized, The Bridge District, Yarbrough, Pioneer Bluff, Stone Lock, River Park, and Liberty. The total value of the 2019 Master Plan CIP is \$180 million. Of this amount, \$112 million in capital improvements are estimated to be funded with the Park Impact Fee. The balance is estimated to be funded through other sources of funding, including grant funding, public/private partnerships, sales tax measure funding and/or other appropriate impact fee funding.

The Park Impact Fee will be updated annually based on the Engineering News-Record’s Construction Cost Index. Estimated costs and corresponding fees in the study have been indexed from July 2020 (11439.11) to July 2023 (13425).

Fee Schedule

A. CHARGE: NEIGHBORHOOD FACILITIES

Land Use Category	<u>Unit Fee</u>	<u>Urban Infill Fee Reduction Program Expansion</u>
Residential Dwelling Unit		
Single-family	\$2,150	\$860
Multifamily	\$1,763	\$706

B. CHARGE: COMMUNITYWIDE FACILITIES

Land Use Category	<u>Unit Fee</u>	<u>Urban Infill Fee Reduction Program Expansion</u>
Residential Dwelling Unit		
Single-family	\$11,024	\$4,410
Multifamily	\$9,040	\$3,616
Nonresidential Per Bldg. Sq. Ft.		
Commercial	\$1.43	\$0.81

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
PARK IMPACT FEES	Resolution 21-67	Apr. 1, 2011
	Plan Update	
	Resolution 22-84	Sept. 19, 2022
	Resolution 22-130	Oct. 19, 2022
	Inflationary Adjustment	Jan. 1, 2024
	Resolution 24-20	July 1, 2024

Office	\$2.02	\$1.13
Industrial ^[1]	\$1.00	\$0.56

^[1] A specialty fee calculation can be requested by industrial projects if the applicant believes that the employment density of the project varies substantially from the general industrial category (750 square feet per employee). At the approval of the City Manager, staff can prepare a specialty fee calculation utilizing the Interim Traffic and Park Impact Fee Study as the basis. Information must be provided by the applicant substantiating the employment density of the project. Examples include industry data for similar projects, site plans, business plans, or other information deemed appropriate by staff.

HISTORY:

AUTHORITY	DATE	ACTION
Res. 93-118	12/15/93	Adoption of citywide park facilities development fee
Res. 03-31	5/14/04	Update current land values
Res. 03-125	12/23/03	Update for 2003 Park Master Plan
Res. 10-14	3/3/10	Update for Interim Traffic and Park Fee Study
Res. 10-14	3/16/10	Council approved that interim fees sunset per resolution and adjusted to previous levels effective 4/1/11
Res. 21-67	10/6/21	Updated Park Impact Fee Analysis
Res. 22-84	9/19/22	Adoption of targeted impact fee reform program in Central Business District and Washington District
Res. 22-130	10/19/2022	Correction of Resolution 22-84 to reapply 50% credit for Neighborhood Parks in West Capitol Avenue Area outside of Central Business District
Res. 24-20	4/10/24	Adoption of Urban Infill Fee Reduction Program Expansion

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
POLICE FACILITIES DEVELOPMENT FEE (CITYWIDE)	Resolution 05-82 Resolution 22-84 Inflationary Adjustment Resolution 24-20	Nov. 7, 2005 Sept. 19, 2022 Jan. 1, 2024 July 1, 2024

Police Facility Development Fees are supported by a Nexus Study entitled *Analysis of the Impacts of Development on Fire, Police and Corporation Yard Facilities* by Citygate Associates, dated June 1, 2005. Fees in this study, reflecting Engineering News-Record's Construction Cost Index of 7422, have been adjusted to reflect the July 2023 Index of 13425.

Fee Schedule

<u>Development Type</u>	<u>Dev Units¹</u>	<u>Police Impact Fees</u>	<u>Urban Infill Fee Reduction Program Expansion</u>
Residential > 2500 Sq. Ft.	du	\$1,672	\$669
Residential 1100-2500 Sq. Ft.	du	\$1,533	\$613
Residential < 1100 Sq. Ft.	du	\$1,208	\$482
Retail/Service Commercial	kbsf	\$929	\$520
Office/Business Park	kbsf	\$1,547	\$867
Industrial	kbsf	\$619	\$347

¹ du = dwelling unit; kbsf = 1,000 gross square feet of building area

HISTORY:

AUTHORITY	DATE	ACTION
Res. 05-82	9/7/05	Update fee schedule
Res. 22-84	9/19/22	Adoption of targeted impact fee reform program in Central Business District and Washington District
Res. 24-20	4/10/24	Adoption of Urban Infill Fee Reduction Program Expansion

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
SEWER IMPACT FEES (CONNECTION FEES) CITYWIDE	Resolution 18-8	Apr. 12, 2018
	Resolution 22-84 Inflationary Adjustment	Sept. 19, 2022
	Resolution 24-20	Jan. 1, 2024 July 1, 2024

Fee Schedule

The sewer connection fees are supported by the Wastewater System Master Plan 2015 Update, dated August 2017. The sewer connection fee represents the unit cost of capacity. The current number of sewer connections is converted to a standard connection referred to as an equivalent dwelling unit (EDU). An EDU relates multi family, commercial, and industrial connections to an equivalent single family residential connection based on the ration of the customer’s estimated daily sewer water use compared to that of a single-family residence. The City’s sewer connection fee only recovers the collection system costs. Fees in this study shall be adjusted each succeeding January 1st, commencing January 1, 2019, to reflect inflationary costs. The fees shall be increased by the ratio which the Engineering News-Record’s Construction Cost Index (20 cities) for the most recent July index (13425).

A. CONNECTION PERMIT APPLICATION FEE

Includes application review, permit issuance, and tracking. May be included with the Connection Permit Application Fee for Water Connections.

Connection Permit Application Fee \$250

B. CAPACITY CHARGES IN ALL AREAS EXCEPT URBAN INFILL FEE REDUCTION PROGRAM EXPANSION

1. Single family residential 4” diameter connection \$7,691

2. Multiple Dwelling units: include duplexes, triplexes, quadraplexes, condominiums, townhouses, apartments, mobile homes, or any type of dwelling intended for residential use other than single family residential.

Multifamily = 75% of single-family rate \$5,768

3. Commercial/Industrial: the connection fees for commercial and industrial developments shall be determined based on the estimated flow per 1,000 square feet used in the Wastewater Master Plan 2016 Update and have been indexed to July 2023 ENRCCI (13425) below:

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
SEWER IMPACT FEES (CONNECTION FEES) CITYWIDE	Resolution 18-8	Apr. 12, 2018
	Resolution 22-84 Inflationary Adjustment	Sept. 19,2022
	Resolution 24-20	Jan. 1, 2024 July 1, 2024

Fee Schedule

	\$/1000
	sq. ft.
Commercial	
Water related	\$2,280
General	\$2,280
Neighborhood	\$1,824
Community	\$1,824
Highway	\$1,824
Office	\$2,280
Industrial	
Water related	\$911
Light	\$911
Mixed comm/Ind	\$1,366
Business Park	\$1,824
Heavy	\$1,824

- a. The minimum collection charge for commercial and industrial developments shall be **\$7,691**.
- b. The minimum size lateral for commercial and industrial connections shall be 6"
- c. For all tenant improvements, remodels, or additions to commercial and industrial buildings which were issued building permits for new construction before November 14, 1990, the charge for sewer connection fees shall be determined based on \$124 per plumbing fixture unit.

C. CAPACITY CHARGES IN URBAN INFILL FEE REDUCTION PROGRAM EXPANSION

- 1. Single family residential \$3,076
4" diameter connection
 - 2. Multiple Dwelling units include duplexes, triplexes, quadraplexes, condominiums, townhouses, apartments, mobile homes, or any type of dwelling intended for residential use other than single family residential.
- Multifamily = 75% of single-family rate \$2,307

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
SEWER IMPACT FEES (CONNECTION FEES) CITYWIDE	Resolution 18-8	Apr. 12, 2018
	Resolution 22-84 Inflationary Adjustment	Sept. 19,2022 Jan. 1, 2024
	Resolution 24-20	July 1, 2024

Fee Schedule

3. Commercial/Industrial: the connection fees for commercial and industrial developments shall be determined based on the estimated flow per 1,000 square feet used in the Wastewater Master Plan 2016 Update and have been indexed to July 2023 ENRCCI (13425) below:

	\$/1000 sq. ft.
Commercial	
Water related	\$1,276
General	\$1,276
Neighborhood	\$1,022
Community	\$1,022
Highway	\$1,022
Office	\$1,276
Industrial	
Water related	\$510
Light	\$510
Mixed comm/Ind	\$765
Business Park	\$1,022
Heavy	\$1,022

- a. The minimum collection charge for commercial and industrial developments shall be **\$7,691** and for office developments shall be a minimum charge of **\$3,076**.
- b. The minimum size lateral for commercial and industrial connections shall be 6”
- c. For all tenant improvements, remodels, or additions to commercial and industrial buildings which were issued building permits for new construction before November 14, 1990, the charge for sewer connection fees shall be determined based on \$124 per plumbing fixture unit.

D. CREDITS

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
SEWER IMPACT FEES (CONNECTION FEES) CITYWIDE	Resolution 18-8	Apr. 12, 2018
	Resolution 22-84 Inflationary Adjustment	Sept. 19, 2022
	Resolution 24-20	Jan. 1, 2024 July 1, 2024

Fee Schedule

1. Sewer connection fees are not required where it can be shown that a previous connection once existed for a similar improvement on a parcel
2. Consistent with the City's adopted Developer Reimbursement Policy, credits against fees can be applied for the following components of sewer service are provided for past performance (cash payments, land dedications, constructed improvements, etc.)

HISTORY:

AUTHORITY	DATE	ACTION
Res. 08-89	12/20/08	Adopt fee schedule
Res. 16-48	06/15/16	Amend application fee
Res. 17-7	09/20/17	Update 2016 Sewer Master Plan
Res. 17-60	10/18/17	Update fees
Res. 18-8	04/11/18	Update fees
Res. 22-84	9/19/22	Adoption of fee reform in Central Business District and Washington District
Res. 24-20	4/10/24	Adoption of Urban Infill Fee Reduction Program Expansion

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
TRAFFIC IMPACT FEES CITYWIDE BY DISTRICT	Resolution 10-14 Resolution 22-84 Resolution 22-130 Inflationary Adjustment Resolution 24-20	Apr. 1, 2011 Sept. 19, 2022 Oct. 19, 2022 Jan. 1, 2024 July 1, 2024

Traffic Impact Fees are supported by a study entitled *2005 Traffic Impact Fee Study Update*, prepared by DKS Associates. Fees in this study reflect 2005 costs. Fees have been updated to July 2009 using the ARTBA Index. Beginning on January 1, 2011, the July Engineering News-Record's 20 Cities Index (ENRCCI) will be used to update the traffic fees each year. The fees below have been indexed to July 2023 ENRCCI (13425).

Fee Schedule

A. FEES

Land Use Category Notes:

Outdoor bulk storage uses shall pay a traffic impact fee based on an assumed 40% floor area. It shall be calculated on a per acre basis (acreage of use X 4 X 43.650 X the applicable HI or WRI fee rate). The fee shall be collected with the business license for outdoor bulk storage use. The fee shall not be collected more than one time on a given area for outdoor bulk storage use.

Heavy industrial category applies to uses that deal with large cargo handling or raw material transfer, storage, manufacture, refining or processing.

Light industrial category applies to uses such as semiconductor manufacturing, machine shops, bottling plant, printing plants, inert material manufacture, laboratory (i.e., research, materials testing), cabinetmakers, etc.

Heavy commercial category applies to establishments such as building material supply, lumber supply, hardware, home improvement stores and nurseries.

General Notes:

Credit against traffic impact fees shall be provided when a building permit for demolition of a previous structure of similar use on the same lot has been obtained within the five years previous to building permit issuance for a new structure.

Traffic impact fees for land uses which do not fit into the above listed categories shall be evaluated by the City Engineer on a case-by-case basis by establishing a ratio of relative impacts, as identified within the ITE Codes, between the proposed land use and a similar land use listed above. Traffic impact fees will not be collected at the time of building permit issuance for a shell building, but will be collected at the time of the building permit for tenant improvements and will be charged at the rate in effect at the time of that permit.

On March 3, 2010, the City Council approved interim traffic fees that reduced the fees by 20%. These reductions were not extended by the City Council at its March 16, 2011

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
TRAFFIC IMPACT FEES CITYWIDE BY DISTRICT	Resolution 10-14 Resolution 22-84 Resolution 22-130 Inflationary Adjustment Resolution 24-20	Apr. 1, 2011 Sept. 19, 2022 Oct. 19, 2022 Jan. 1, 2024 July 1, 2024

meeting; therefore, these Interim Traffic Fees have been automatically adjusted to their previous level effective April 1, 2011, including all applicable adjustments for inflation.

Fee Schedule

A. (continued)

Table 1

Land Use Category	UNIT	Southport – District 1 Fee	Stone Lock Southport District 1 Fee	Port Industrial - District 2 WC/CBD – District 3 Lighthouse – District 5 Reed/Harbor – District 6 Fee	Riverfront – District 4 Fee
Industrial					
Light Industrial	1,000 s.f.	\$20,707	\$11,595	\$8,612	\$5,006
Heavy Industrial	1,000 s.f.	\$4,015	\$2,249	\$1,670	\$970
Warehousing	1,000 s.f.	\$9,931	\$5,562	\$4,130	\$2,400
Residential					
700 s.f. or less	du	\$4,458	\$1,784	\$1,324	\$770
701 to 1,100 s.f.	du	\$13,960	\$5,584	\$4,146	\$2,410
1,101 to 2,500 s.f.	du	\$17,564	\$7,026	\$5,217	\$3,032
Greater than 2,500 s.f.	du	\$22,742	\$9,096	\$6,755	\$3,926
Lodging					
Hotel/Motel	Room	\$12,073	\$6,760	\$5,021	\$2,918
Recreational					
Movie Theater	1,000 s.f.	\$33,456	\$18,735	\$13,913	\$8,087
Health Club	1,000 s.f.	\$18,877	\$10,570	\$7,850	\$4,563
Institutional					
Schools/Day Care	student	\$1,084	\$607	\$451	\$262
Church	1,000 s.f.	\$10,431	\$5,842	\$4,339	\$2,522
Medical					
Hospital	1,000 s.f.	\$26,187	\$14,665	\$10,892	\$6,330
Nursing Home/ Continuing Care	1,000 s.f.	\$3,972	\$2,224	\$1,651	\$960
Office					
150,000 or less	1,000 s.f.	\$19,783	\$11,079	\$8,228	\$4,782
150,001 to 300,000	1,000 s.f.	\$24,362	\$13,642	\$10,131	\$5,888
Greater than 300,000 s.f.	1,000 s.f.	\$27,046	\$15,145	\$11,247	\$6,537
Retail					

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
TRAFFIC IMPACT FEES CITYWIDE BY DISTRICT	Resolution 10-14 Resolution 22-84 Resolution 22-130 Inflationary Adjustment Resolution 24-20	Apr. 1, 2011 Sept. 19, 2022 Oct. 19, 2022 Jan. 1, 2024 July 1, 2024

Land Use Category	UNIT	Southport – District 1 Fee	Stone Lock Southport District 1 Fee	Port Industrial - District 2 WC/CBD – District 3 Lighthouse – District 5 Reed/Harbor – District 6 Fee	Riverfront – District 4 Fee
100,000 s.f. or less	1,000 s.f.	\$19,029	\$10,656	\$7,914	\$4,600
Greater than 100,000 s.f.	1,000 s.f.	\$28,495	\$15,958	\$11,851	\$6,888
Heavy Commercial	1,000 s.f.	\$12,374	\$6,929	\$5,148	\$2,991
Furniture Store	1,000 s.f.	\$5,817	\$3,257	\$2,419	\$1,405
Restaurant	1,000 s.f.	\$20,238	\$11,333	\$8,416	\$4,893
Restaurant w/Drive Thru	1,000 s.f.	\$81,897	\$45,862	\$ 34,061	\$ 19,797

Fee Schedule

B. CREDITS

The percentage of the above fee is to be constructed and reimbursed at 12.8%. This is based on the assumption that the following projects will be developer financed and constructed:

- 5th Street
- Southport/Village Parkway
- South River Road in Triangle Area
- Lake Washington
- 40% of remaining traffic signals

C. TRAFFIC IMPACT FEE ADJUSTMENT FOR TRANSIT

The City anticipates establishing a transit funding program. Should such a program be implemented, adjustments to the traffic impact fee may be negotiated with project applicants who participate in a financing district for transit improvements that reduce traffic generation. Participation may include advance funding, formation of a financing district, or annexation to an existing financing district.

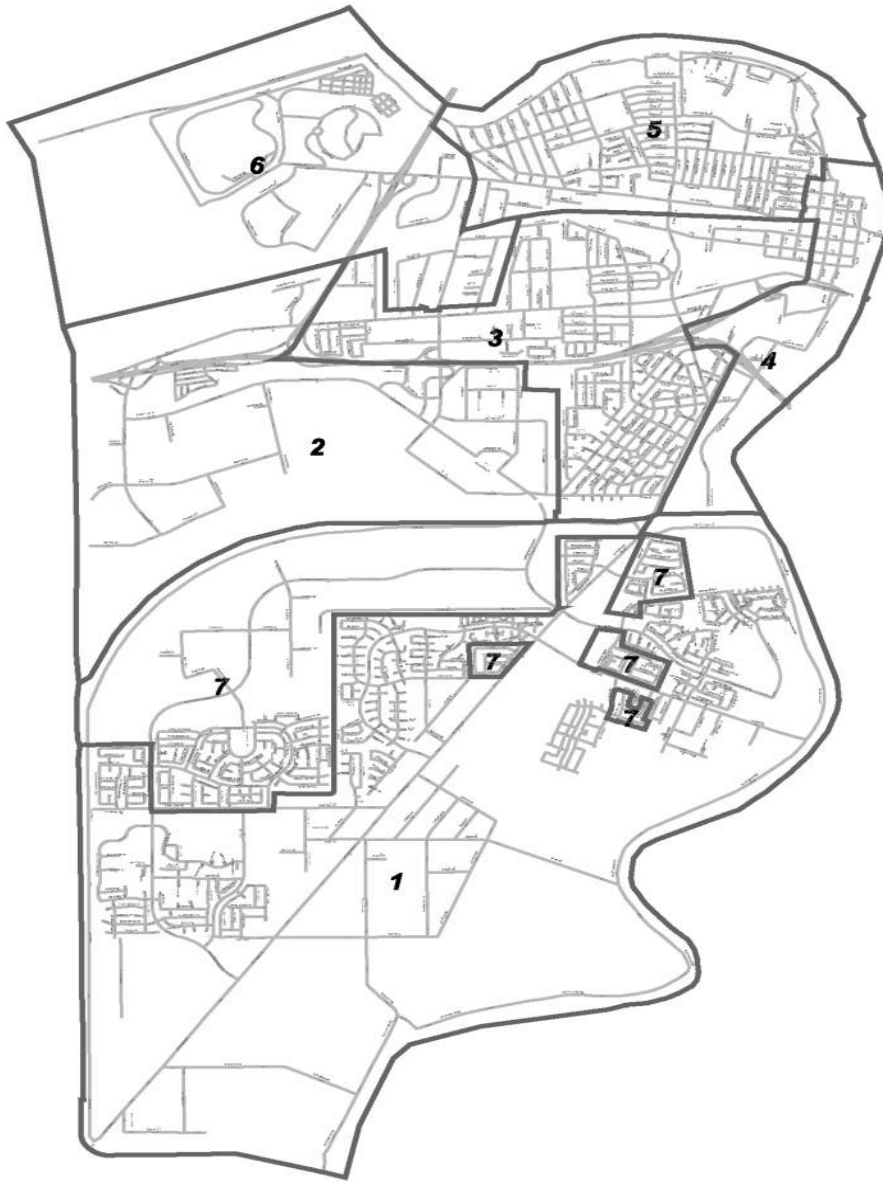
CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
TRAFFIC IMPACT FEES CITYWIDE BY DISTRICT	Resolution 10-14 Resolution 22-84 Resolution 22-130 Inflationary Adjustment Resolution 24-20	Apr. 1, 2011 Sept. 19, 2022 Oct. 19, 2022 Jan. 1, 2024 July 1, 2024

HISTORY:

AUTHORITY	DATE	ACTION
Ord.93-18	10/10/94	Adoption of citywide traffic fee
Res. 94-90	12/7/94	Update traffic costs (new development)
Res. 95-72	12/6/95	Annual indexing policy
Res. 01-100	12/12/01	2001 Traffic Impact Fee Study
Res. 03-125	12/23/03	Update traffic cost
Res. 06-1	1/18/06	2005 Traffic Impact Fee Study
Res. 08-89	12/10/08	Add D.
Res. 10-14	3/3/10	Update for Interim Traffic and Park Fee Study
Res. 10-14	3/16/11	Council approved that interim fees sunset per resolution and adjusted to previous levels effective 4/1/11
Res. 22-84	9/19/22	Adoption of impact fee reform program in Central Business District and Washington District
Res. 22-130	10/19/22	Correction of Targeted Infill Fee Reform program in Central Business District and Washington District
Reso. 24-20	4/10/24	Adoption of Urban Infill Fee Reduction Program Expansion



CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
WATER IMPACT FEES (CONNECTION FEES)	Resolution 18-8 Resolution 22-84 Inflationary Adjustment Resolution 24-20	Apr. 12, 2018 Sept. 19, 2022 Jan. 01, 2024 July 1, 2024

The water connection fees are supported by the Water System Master Plan 2015 Update, dated August 2017. The water connection fee represents the unit cost of capacity. The unit cost is determined by dividing the value of the facilities by the current number of connections serviced. The current number of water connections are converted to a standard connection referred to as an equivalent meter unit (EMU). An EMU represents capacity of the smallest meter available, a ¾" meter. Larger meters represent more EMU's depending on how their rated capacities compare with one EMU.

The cost of an EMU is determined by dividing the value of the water system facilities by the number of EMU's served. Fees in this study shall be adjusted each succeeding January 1st, commencing January 1, 2019, to reflect inflationary costs. The fees shall be increased by the ratio which the Engineering News-Record's Construction Cost Index (20 cities) for the most recent July index (13425).

A. CONNECTION PERMIT APPLICATION FEE

Includes application review, permit issuance, and tracking. May be included with the Connection Permit Application Fee for Sewer Connections.

Connection Permit Application Fee \$250

B. CAPACITY CHARGES

General Water Service	Total Water System Impact Fee	Urban Infill Fee Reduction Program Expansion Residential Fees	Urban Infill Fee Reduction Program Expansion Office, Industrial, Commercial Fees
¾" meter	\$11,829	\$4,732	\$6,624
1" meter	\$19,753	\$7,900	\$11,061
1 ½" meter	\$39,390	\$15,757	\$22,059
2" meter	\$63,045	\$25,218	\$35,305
3" meter	\$126,210	\$50,484	\$70,678
4" meter	\$197,180	\$78,873	\$110,420
6" meter	\$394,246	\$157,699	\$220,778
8" meter	\$630,815	\$252,326	\$353,256
10" meter	\$906,894	\$362,758	\$507,860
12" meter	\$1,695,423	\$678,170	\$949,437

For multiple dwelling units and mobile home parks the charge will be based on the meter size needed to serve the multi-family dwelling or mobile home park.

C. CREDITS

CITY OF WEST SACRAMENTO

BOOK OF FEES

Description	Authority	Effective Date
WATER IMPACT FEES (CONNECTION FEES)	Resolution 18-8 Resolution 22-84 Inflationary Adjustment Resolution 24-20	Apr. 12, 2018 Sept. 19, 2022 Jan. 01, 2024 July 1, 2024

1. Water connection fees are not required where it can be shown that a previous connection once existed for a similar improvement on a parcel.
2. Consistent with the City's adopted Developer Reimbursement Policy, credits against fees can be applied for the following components of water service are provided for past performance (cash payments, land dedications, constructed improvements, etc.)

D. GREEN BUILDING WATER FEE ADJUSTMENT

Project applicants that demonstrate green building techniques in excess of minimum building code requirements may be eligible for adjustment to the City water impact fees. The adjustment would be proportionate to the reduction in impact to the water system funded through the fee program. An estimate of the reduction in water system impact and fee amount is required by the applicant, along with substantiating evidence. The City Manager, or his/her designee, must concur with the applicant's findings prior to granting a water fee adjustment.

E. ACCESSORY DWELLING UNITS (ADU'S)

The methodology for calculating the fee for Accessory Dwelling Units will conform with SB1069, and pro rate the fee based on the floor size, or fixture units.

F. FIRE SPRINKLERS

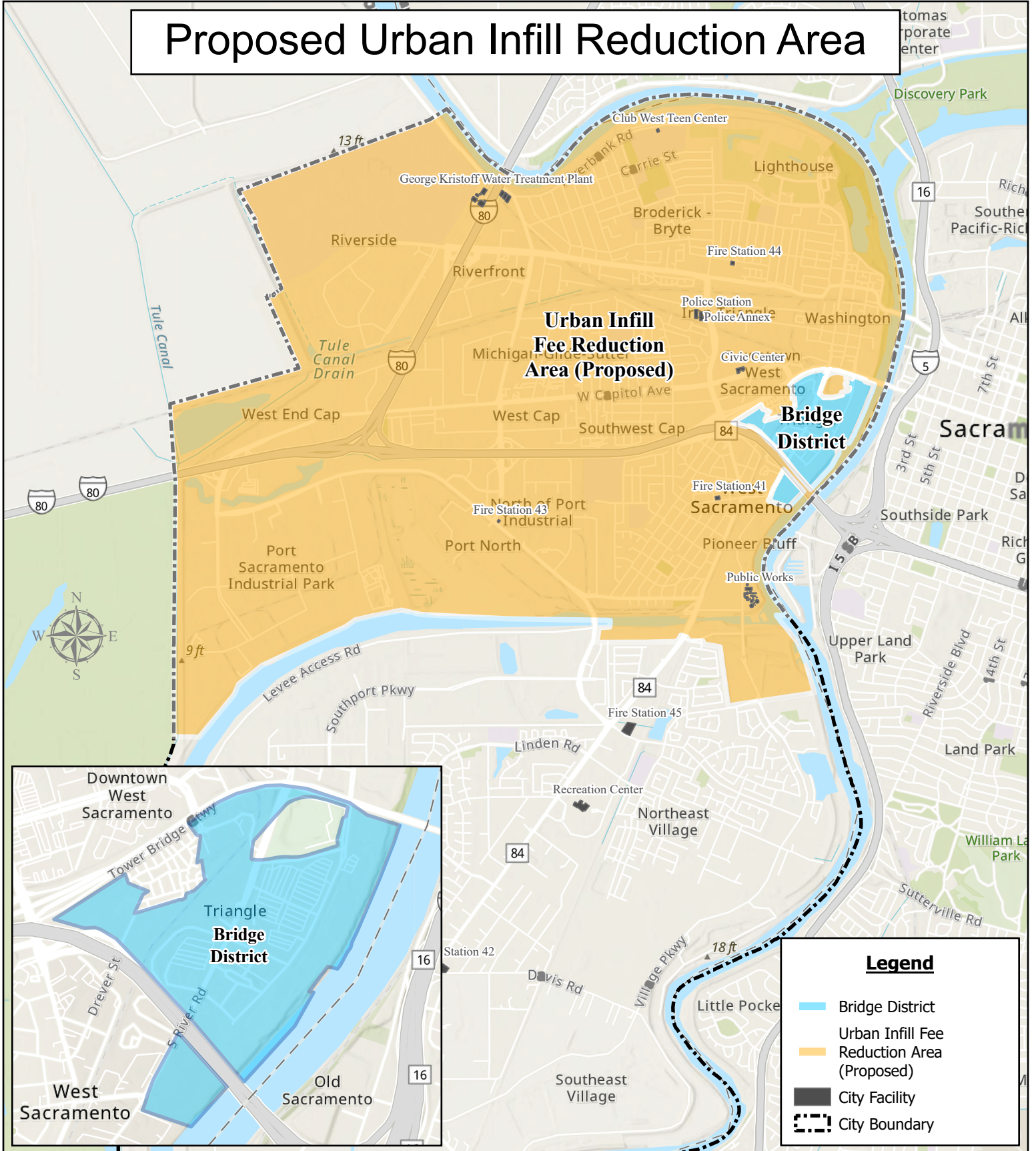
Private (Commercial) Fire Protection (per tap, any size) \$11,829

The meter size used to determine the amount of the water impact fee will be based on the requirements of the International Plumbing Code design capacity requirements (or other applicable building code requirements), without consideration for increased capacities required for the sprinkler systems. **Minimum meter size shall be ¾".**

HISTORY:

AUTHORITY	DATE	ACTION
Res. 05-43	08/08/05	Adopt fee schedule
Res. 08-73	09/18/08	Add fire sprinkler
Res. 08-89	12/10/08	Add Green Building
Res. 09-08	01/14/09	Add multifamily and buy-in
Res. 16-48	06/15/16	Amend language in Section A
Res. 17-07	09/20/17	Update to Water Master Plan 2016
Res. 17-60	10/18/17	Updated fee schedule
Res. 18-8	04/11/18	Update fees
Res. 22-84	09/19/22	Adoption of targeted impact fee reform in Central Business District and Washington District
Res. 24-20	4/10/24	Adoption of Urban Infill Fee Reduction Program Expansion

Proposed Urban Infill Reduction Area



Date Exported: 3/25/2024

FEE SCHEDULE O
SPECIFIC PLAN/Framework PLAN FEES

SOUTHPORT Framework Plan Fees are supported by Resolution 98-109 adopted December 8, 1999. Fees in this Resolution based on 1998 costs reflecting the Engineering News Record's Construction Cost Index of 5921, have been adjusted to reflect the July 2023 index of 13424.98

A. CHARGE PER NET DEVELOPABLE ACRE \$556.97

B. ADMINISTRATIVE CHARGE 1%

An Administrative Charge of 1%, of the per acre charge (\$5.57) shall be collected to offset the City's costs of administering the Southport Framework Plan Fee. (This charge is in addition to the charge in Section A.)

C. CREDITS

A Credit up to but not exceeding the charges in A. and B. will be given for properties participating in the Community Facilities District No. 2 as follows:

1998 Index (5921):

Project Costs = \$1,845,058

Net Developable Acreage = 4,832.70

Project Costs / Net Developable Acreage = \$1,845,058 / 4,832.70 = \$381.78 / ac

2023 Index (13424.98):

(13424.98 / 5921) (\$381.78) = \$865.63 / ac

BRIDGE DISTRICT SPECIFIC PLAN FEES (formerly Triangle Specific Plan Fees) are supported by Resolution 93-117 adopted December 7, 1994; and Resolution 10-4 adopted February 3, 2010. Fees in these Resolutions provide for an annual simple interest adjustment of 10%.

A. CHARGE PER ACRE \$40,034

Fees will be charged for "private development" parcels as defined by the CFD 27 Rate and Method of Apportionment (RMA) including "undeveloped" land, excluding public property. See the CFD 27 RMA for further information. Approved by City Council on May 6, 2015.

B. ADMINISTRATIVE CHARGE 1%

An Administrative Charge of 1%, of the per acre charge (\$400.34) shall be collected to offset the City's costs of administering the Bridge District Specific Plan Fee. (This charge is in addition to the charge in Section A.)

FEE SCHEDULE P

IN-LIEU FLOOD PROTECTION PAYMENT OPTION, BY LAND USE – CITYWIDE

The in-lieu fee shall be adjusted each January 1st commencing January 1, 2008 to reflect inflationary cost. The value shall be increased by the ratio which the Engineering News Record’s Construction Cost Index (twenty cities) for the most recent December bears to the December 2007 index.

Land Use	Summary of Flood Protection In-Lieu Payment Option		
<u>Land Use</u> ^[3]	<u>Zone 1</u> [1]	<u>Zone 2</u> [1]	
Residential			
Residential Single Family ^[2]			
<1,100 Sq. Ft.	\$380 / DU	\$1,913 / DU	DU = dwelling unit
1101-2500 Sq. Ft.	\$621 / DU	\$3,132 / DU	
> 2,500 Sq. Ft.	\$863 / DU	\$4,348 / DU	
Multi-Family ^[4]			
<900 Sq. Ft.	\$131 / DU	\$1,542 / DU	
>900 Sq. Ft.	\$196 / DU	\$2,313 / DU	
Commercial			
Retail	\$791 / KSF	\$3,979 / KSF	KSF = 1,000 gross square feet of building area
Office	\$512 / KSF	\$3,715 / KSF	
Industrial	\$189 / KSF	\$1,784 / KSF	

[1] Zone 1 represents the Triangle Area and Pioneer Bluff east South River Road (high ground and Zone 2 is the rest of the City.

[2] Gross building square feet.

[3] Land uses are defined as follows:

Single-family – This designation provides for single-family, duplexes, and similar uses.

Multi-family – This designation provides for multi-family units, triplex units, higher density housing, and similar uses.

Retail - This designation provides for light retail including, but not limited to, eating and drinking establishments, grocery stores and general merchandise, and similar uses.

Office – This designation provides for professional and administrative offices, medical and dental clinics, laboratories, financial institutions, and similar uses.

Industrial - This designation provides for industrial parks, heavy retail, sales, service, wholesale commercial, warehouses, distribution centers, fuel storage, trucking terminals, railroad facilities, manufacturing, and similar uses.

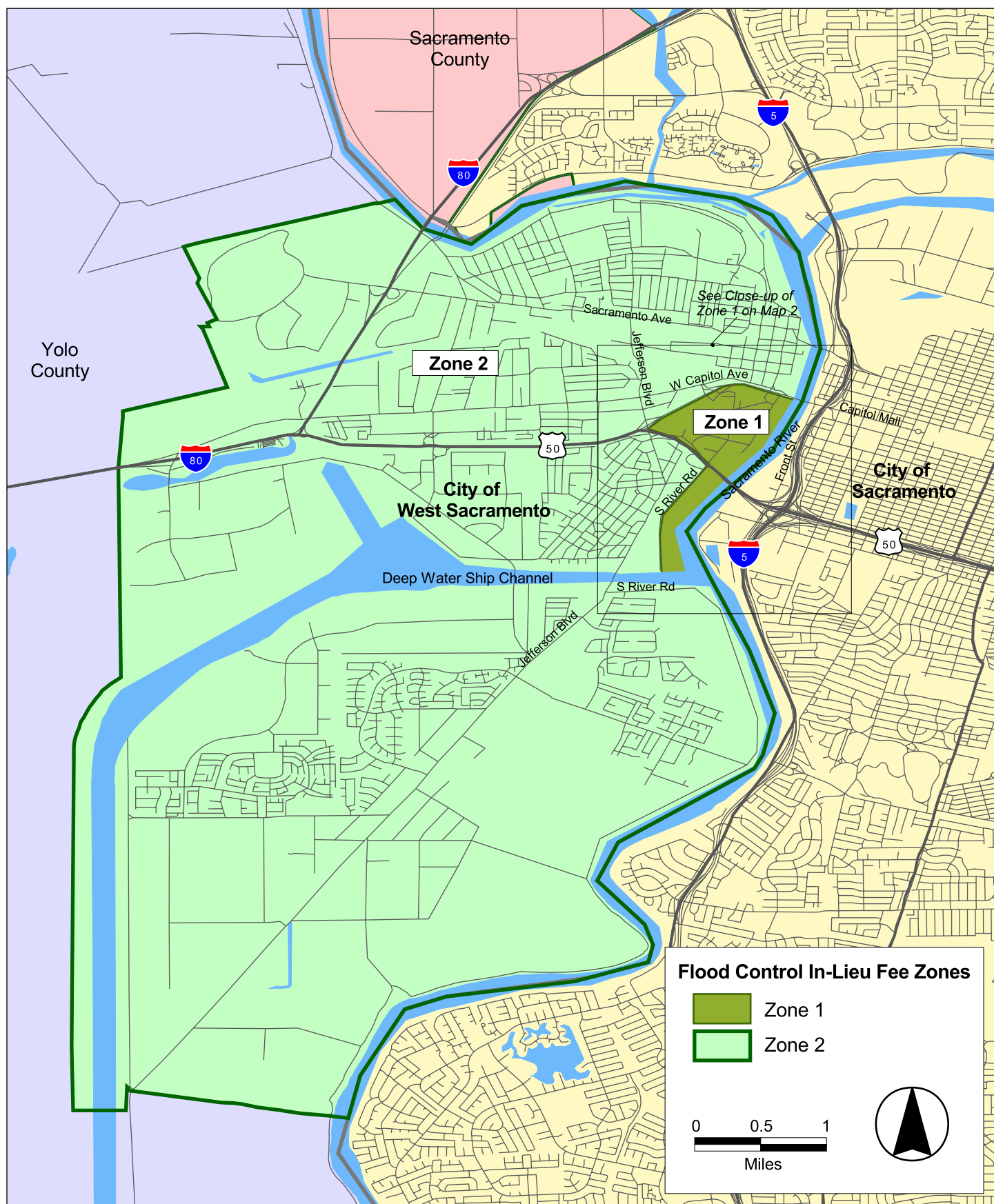
Mixed Use - This designation provides for development projects that are a combination of the other Land Use classifications. Mixed use development will be proportionally computed to the percentage of land in each land use category.

FEE SCHEDULE P (CONTINUED)

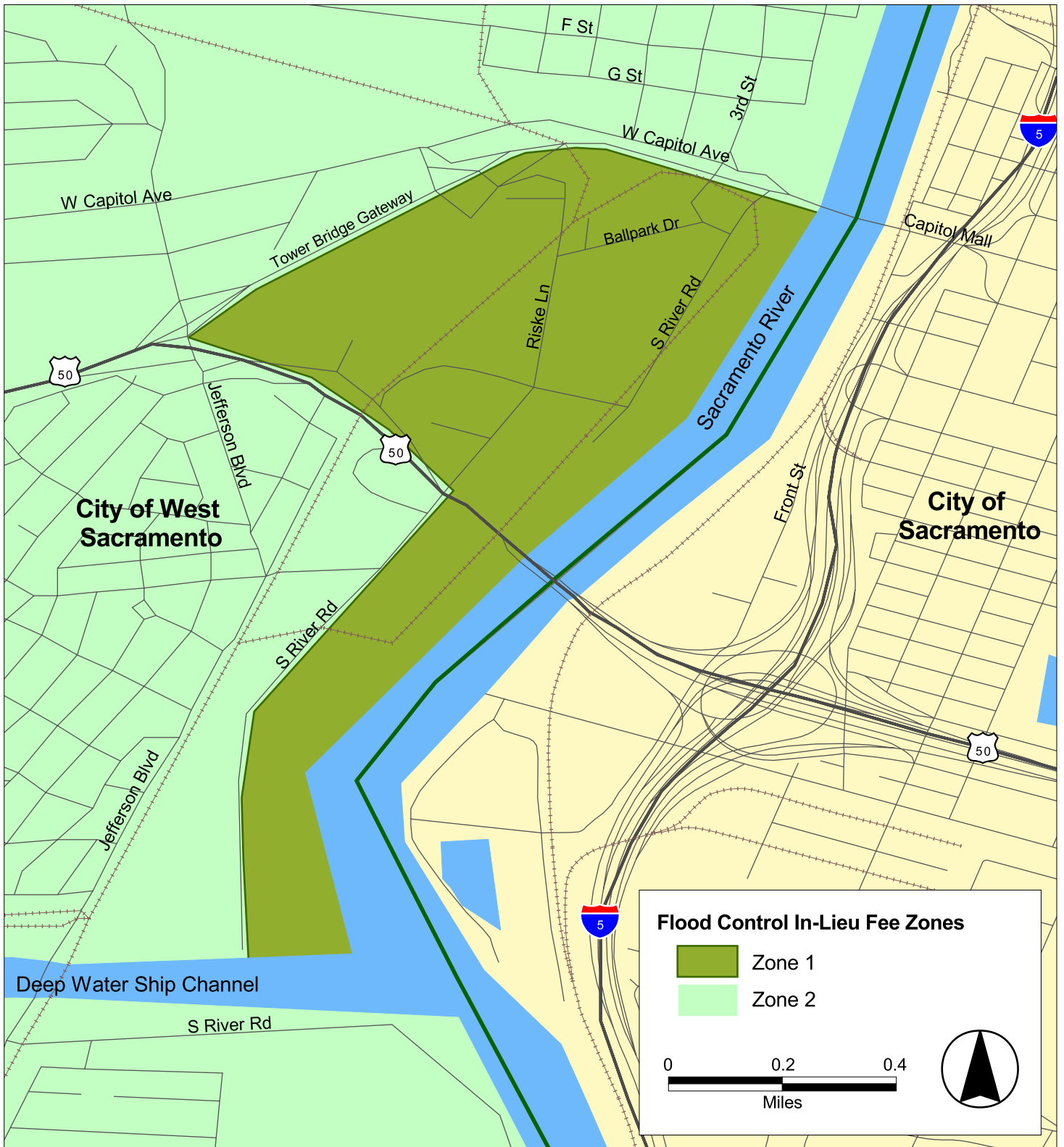
IN-LIEU FLOOD PROTECTION PAYMENT OPTION, BY LAND USE – CITYWIDE

[4] Varying the multi-family fee for two unit sizes was calculated by dividing the multi-family fee (\$2,313) by the average size of multi-family units (900 sq. ft) and applying that amount (\$2.57 per sq. ft) to a 600 sq. ft unit, which is reflective of an average size unit in the under 900 sq. ft category.

Map 1 West Sacramento Flood Control Flood Control In-Lieu Fee Area Map



Map 2
West Sacramento Flood Control
Flood Control In-Lieu Fee - Zone 1 Area Map



Source: Census 2005 Tiger/Line data, 2nd Ed.; and EPS.

Prepared by EPS, March 19, 2007

FEE SCHEDULE Q
IMPROVEMENT VALUATION DATA

The following Improvement Valuation was approved by Resolution No. 02-95 effective 2/10/03, with inflationary adjustments effective 1/3/05 and each subsequent year. The determination of value or valuation to be used in computing permit fees under any of the provisions of this fee schedule shall be made by the Director of Community Development. The value to be used shall be the total value of all construction work for which a permit is issued or for which plans are being checked. Valuation shall be taken at the contract price or shall be determined by the use estimates prepared and published from time to time by the Director of Community Development, whichever is higher. Unit prices will be updated annually based on the Engineering News Record Construction Cost Index.

<i>ITEM</i>	<i>DESCRIPTION</i>	<i>UNIT</i>	<i>MINIMUM UNIT PRICE</i>
<i>Pavement:</i>			
	Class II ASB	SF-IN	\$ 0.35
	Class II AB	SF-IN	\$ 0.39
	Asphalt Concrete	SF-IN	\$ 0.65
<i>Concrete:</i>			
	4" on 4" AB	SF	\$ 14.23
	6" on 4" AB	SF	\$ 18.80
	8" on 4" AB	SF	\$ 23.58
	Vertical Curb and Gutter	LF	\$ 57.11
	Median and Barrier Curb	LF	\$ 31.10
 WATER SYSTEM			
<i>Water Pipe:</i>			
	3/4" - 2" PE AWWA C901	LF	\$ 58.94
	4" PVC C900 Class 150	LF	\$ 103.66
	6" PVC C900 Class 150	LF	\$ 109.76
	8" PVC C900 Class 150	LF	\$ 115.86
	10" PVC C900 Class 150	LF	\$ 128.05
	12" PVC C900 Class 150	LF	\$ 140.25
	16" PVC C905 DR 25	LF	\$ 168.70
	20" PVC C905 DR 25	LF	\$ 193.09
	24" PVC C905 DR 25	LF	\$ 219.52
	6" PVC C900 Class 200	LF	\$ 134.15
	8" PVC C900 Class 200	LF	\$ 129.70
	10" PVC C900 Class 200	LF	\$ 152.44
	12" PVC C900 Class 200	LF	\$ 166.67
	16" PVC C905 DR 21	LF	\$ 186.99
	20" PVC C905 DR 21	LF	\$ 203.25
	24" PVC C905 DR 21	LF	\$ 217.48
 <i>Valves:</i>			
	4" Gate	EA	\$1,313.03
	6" Gate	EA	\$1,829.29
	8" Gate	EA	\$2,278.49
	10" Gate	EA	\$2,825.24
	12" Tapping Gate	EA	\$4,467.54
	12" Butterfly	EA	\$3,258.17
	16" Butterfly	EA	\$6,687.08
	20" Butterfly	EA	\$9,268.42
	24" Butterfly	EA	\$12,053.01

<i>Meter Assembly:</i>	3/4 Inch	EA	\$ 1,422.78
	1 Inch	EA	\$ 1,575.22
	1-1/2 Inch	EA	\$ 2,510.20
	2 Inch	EA	\$ 3,211.43
	4 Inch	EA	\$20,122.23
	6 Inch	EA	\$35,366.34
	8 Inch	EA	\$51,220.21
	<i>RP Backflow Assembly for Fire and Domestic:</i>	3/4 Inch	EA
1 Inch		EA	\$ 1,422.78
1-1/2 Inch		EA	\$ 1,829.29
2 Inch		EA	\$ 2,540.69
4 Inch		EA	\$ 9,451.35
6 Inch		EA	\$14,227.84
8 Inch		EA	\$24,390.58
10 Inch		EA	\$34,146.81
<i>Appurtenances:</i>	2" Blow-Off Assembly	EA	\$ 3,892.33
	Fire Hydrant	EA	\$ 6,117.97
	Air Release Valve	EA	\$ 2,347.59

STORM DRAIN SYSTEMS

<i>RCP Storm Drain:</i>	12 Inch	LF	\$ 63.01
	15 Inch	LF	\$ 75.20
	18 Inch	LF	\$ 85.37
	21 Inch	LF	\$107.73
	24 Inch	LF	\$132.12
	30 Inch	LF	\$160.57
	36 Inch	LF	\$203.25
	42 Inch	LF	\$239.84
	48 Inch	LF	\$264.23
	54 Inch	LF	\$325.21
	60 Inch	LF	\$349.60
	66 Inch	LF	\$386.18
	72 Inch	LF	\$508.14
<i>PVC Storm Drain:</i>	6 Inch SDR-35	LF	\$99.59
	8 Inch SDR-35	LF	\$117.89
	10 Inch SDR-35	LF	\$148.38
	12 Inch SDR-35	LF	\$172.77
	15 Inch SDR-35	LF	\$191.06
	18 Inch SDR-35	LF	\$203.25
	21 Inch SDR-35	LF	\$211.38
	24 Inch SDR-35	LF	\$221.55
27 Inch SDR-35	LF	\$231.71	
<i>HDPE Storm Drain:</i>	10 Inch	LF	\$ 48.78
	12 Inch	LF	\$ 52.85
	15 Inch	LF	\$ 63.01

	18 Inch	LF	\$ 69.11
<i>HDPE Storm Drain (cont):</i>	21 Inch	LF	\$ 77.24
	24 Inch	LF	\$ 85.37
	30 Inch	LF	\$ 101.63
	36 Inch	LF	\$ 117.89

<i>SD Structures:</i>	SD Manhole	EA	\$6,839.52
	SD Junction Box	EA	\$9,892.41
	Catch Basin	EA	\$3,380.13

SANITARY SEWER SYSTEM

<i>Sewer Pipe:</i>	4 Inch SDR-26	LF	\$ 89.43
	6 Inch SDR-35	LF	\$ 99.59
	8 Inch SDR-35	LF	\$ 117.89
	10 Inch SDR-35	LF	\$ 148.38
	12 Inch SDR-35	LF	\$ 172.77

<i>Appurtenances:</i>	Manhole	EA	\$6,839.52
	Street Clean-Out	EA	\$2,032.55

MISCELLANEOUS

	Monument (ST-11)	EA	\$ 508.14
	Street Electrolier	EA	\$5,508.21