

GENERAL NOTES:

- THE EXISTING CONDITIONS BASE MAP IS BASED ON A TOPOGRAPHIC SURVEY AND BOUNDARY VERIFICATION COMPLETED BY RFE ENGINEERING, INC. ORIGINAL FIELD SURVEY COMPLETED SEPTEMBER 01, 2016.
- EXISTING BOUNDARY AND EASEMENTS AS SHOWN ON THE PLAN ARE BASED ON INFORMATION PROVIDED IN A PRELIMINARY TITLE REPORT COMPLETED BY STEWART TITLE GUARANTY COMPANY DATED SEPTEMBER 7, 2016.
- LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON SURVEYED FACILITIES FOUND IN THE FIELD AND DRAWINGS PROVIDED BY THE VARIOUS UTILITY COMPANIES.
- FOR VARIOUS REASONS THERE MAY BE UNDERGROUND UTILITIES EXISTING THAT ARE NOT SHOWN OR THOSE SHOWN MAY NOT BE IN THE LOCATION(S) SHOWN. VERIFICATION OF THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UNDERGROUND FACILITIES SHALL BE REQUIRED PRIOR TO THE START OF CONSTRUCTION. FOR HIGH RISK UTILITIES, POT-HOLING IS ESSENTIAL PRIOR TO EXCAVATION TO DETERMINE EXACT LOCATIONS.
- THESE DRAWINGS ARE FOR THIS SPECIFIC PROJECT AND NO OTHER USE IS AUTHORIZED. RFE ENGINEERING, INC. DISCLAIMS ALL RESPONSIBILITY FOR CONSTRUCTION BEING WHAT IS SPECIFICALLY DESIGNED OR DETAILED HEREIN.

ABBREVIATIONS

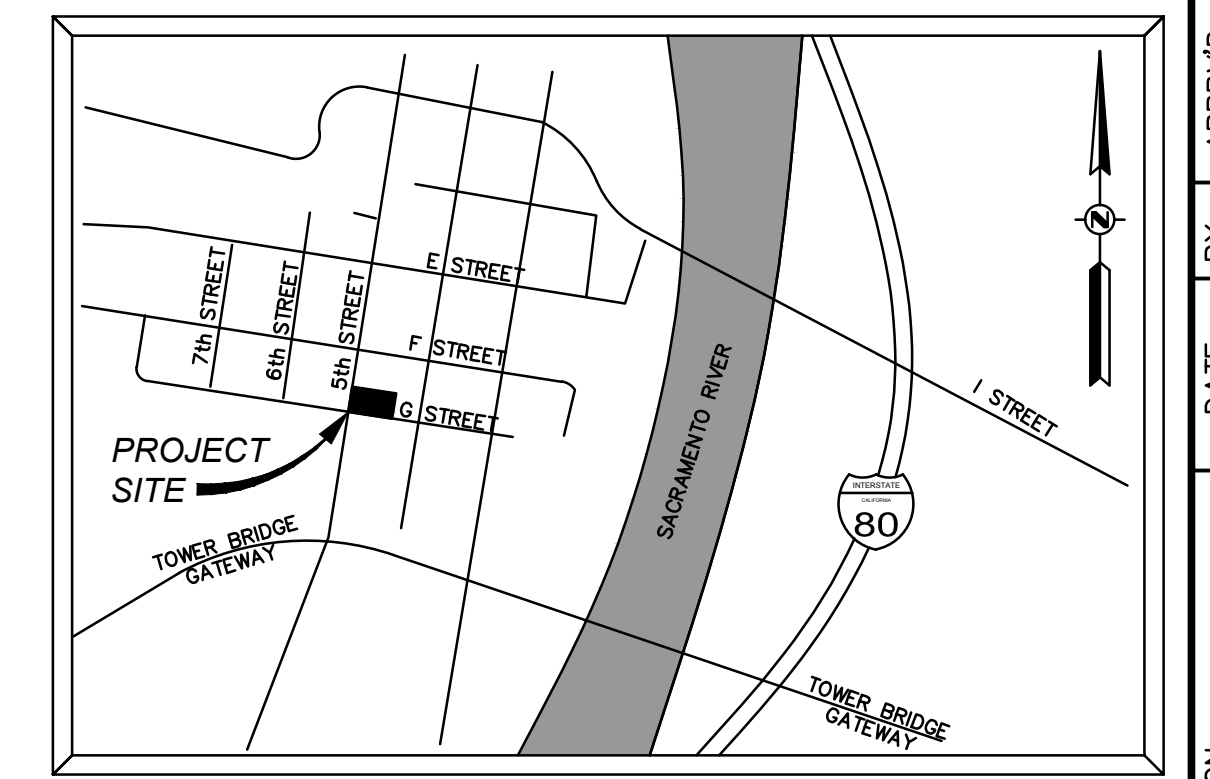
- | | |
|------|-------------------------|
| AC | ASPHALT CONCRETE |
| DI | DROP INLET |
| CL | CENTERLINE |
| (E) | EXISTING |
| EP | EDGE OF PAVEMENT |
| FL | FLOW LINE |
| GR | GRATE |
| INV | INVERT |
| IRR | IRRIGATION |
| JT | JOINT TRENCH |
| OH | OVER HEAD POWER LINES |
| PUE | PUBLIC UTILITY EASEMENT |
| (P) | PROPOSED |
| SDMH | STORM DRAIN MANHOLE |
| SSMH | SANITARY SEWER MANHOLE |
| TBC | TOP BACK OF CURB |
| UG | UNDERGROUND |
| UGT | UNDERGROUND TELEPHONE |
| WA | WATER |
| WM | WATER METER |

VESTING TENTATIVE SUBDIVISION MAP
P16-0054
641 G STREET
APN: 010-464-003
THE SAVOY
CITY OF WEST SACRAMENTO, CA 95605
LOTING EXHIBIT

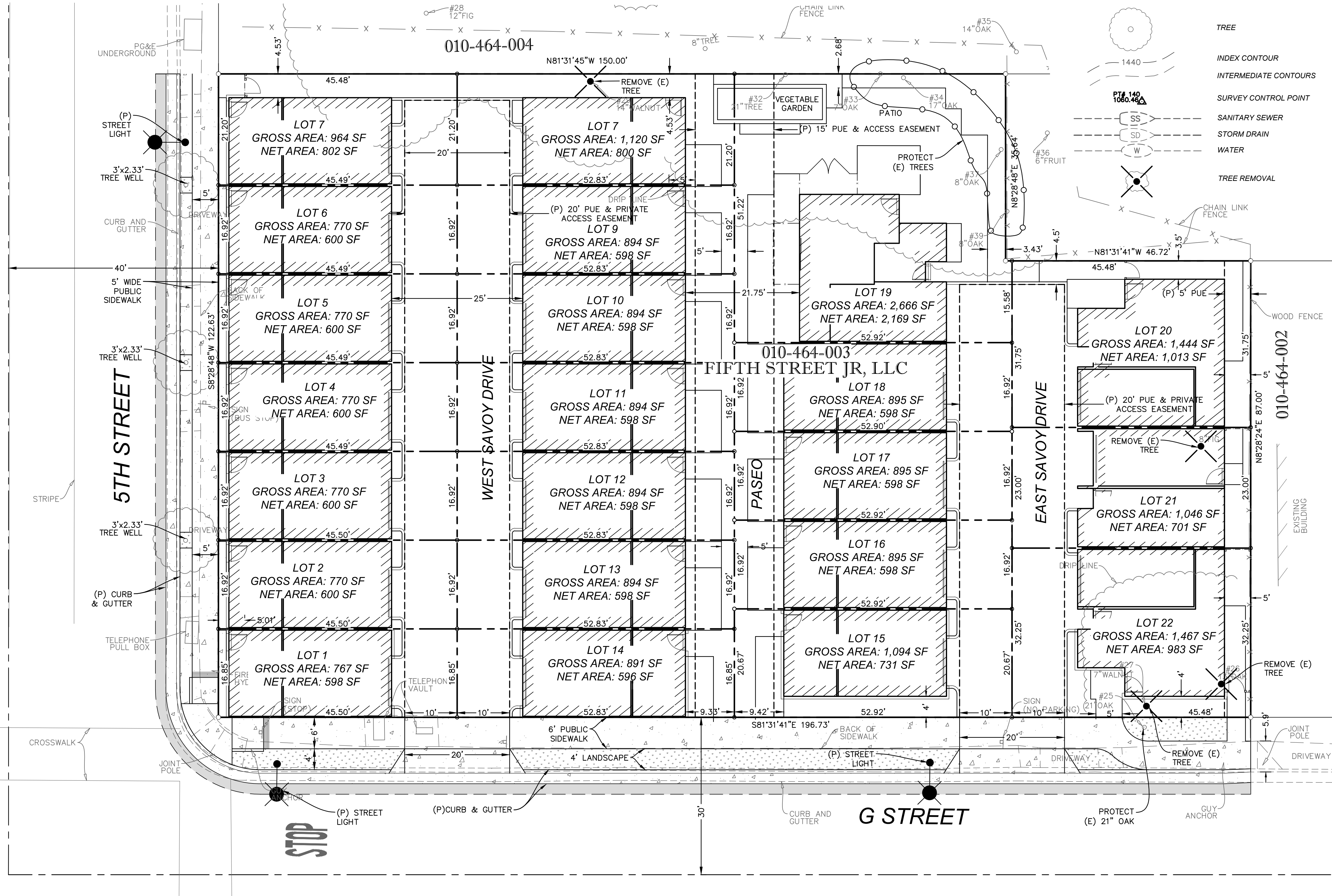
DESCRIPTION: THE WEST 10 FEET OF LOT 5, ALL OF LOTS 6,7,8,9,10,11 AND 12, AND THE WEST 150 FEET OF LOT 14, ALL IN BLOCK 16, SHOWN ON THE MAP OF THE TOWN OF WASHINGTON, RECORDED ON JANUARY 16, 1869, IN BOOK 1 OF DEEDS, AT PAGES 264 AND 265, YOLO COUNTY RECORDS.

LEGEND:

- DIMENSION POINT - NOTHING FOUND OR SET
- CENTERLINE
- BOUNDARY
- PROPOSED LOT LINE
- FENCE
- EDGE OF PAVEMENT
- GAS
- OVERHEAD ELECTRICAL
- STORM DRAIN MANHOLE
- SEWER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- STREET LIGHT
- SIGN
- TREE
- INDEX CONTOUR
- INTERMEDIATE CONTOURS
- SURVEY CONTROL POINT
- SANITARY SEWER
- STORM DRAIN
- WATER
- TREE REMOVAL



VICINITY MAP
NOT TO SCALE



SHEET INDEX:

- C1 LOTING EXHIBIT
- C2 EXISTING CONDITIONS
- C3 PRELIMINARY GRADING AND UTILITY PLAN
- C4 POST CONSTRUCTION STORM WATER PLAN

TOTAL AREA:
0.516 AC

PROPERTY OWNER & SUBDIVIDER:

5TH STREET JR, LLC
10630 MATHER BLVD
MATHER, CA 95655
KATHERINE BARDIS
PH: (916) 313-3120

REQUEST FOR DEVIATION:

- LOT DENSITY

ZONING:

- | | |
|------------------|---|
| EXISTING USE: | VACANT |
| PROPOSED USE: | SINGLE FAMILY RESIDENTIAL |
| EXISTING ZONING: | R-3 (MULTIPLE-FAMILY RESIDENTIAL, 12.1-25 UNITS/ACRE) |

ASSESSOR'S PARCEL NO.:

010-464-003

TOPOGRAPHIC SURVEY:

RFE ENGINEERING, INC
FIELD SURVEY DATED: 09-01-2016

JURISDICTION:

WEST SACRAMENTO

CONTOUR INTERVAL:

MAJORS: 5 FEET
MINORS: 1 FOOT

EXISTING EASEMENTS:

NONE

PROPOSED EASEMENTS:

AS SHOWN ON MAP

ENGINEER / SURVEYOR:

RFE ENGINEERING, INC.
2260 DOUGLAS BLVD, SUITE 160
ROSEVILLE, CA 95661

SITE SUMMARY:

GROSS ACRES: 0.516 ACRES
NET ACREAGE: 0.516 ACRES
MIN. LOT SIZE: 767 SF GROSS, 598 SF NET
LOT COUNT: 22 LOTS TOTAL

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THAT CERTAIN RECORD OF SURVEY FILED IN BOOK 13 OF MAPS AND SURVEYS, PAGES 61-69, YOLO COUNTY RECORDS AND WERE ESTABLISHED FROM FOUNDATION CONTROL MONUMENTS B14-02 AND B12-03, SAID BEARING BEING NORTH 03° 46' 53" EAST. ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES.

BENCH MARK

THE BENCHMARK USED FOR THIS SURVEY IS THE CITY OF WEST SACRAMENTO CONTROL MONUMENT B14-02, THE ELEVATION OF WHICH IS 17.423' SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN BOOK 13 OF MAPS AND SURVEYS, PAGES 61-69, YOLO COUNTY RECORDS. NGVD DATUM 1929.

FLOOD PLAIN:

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X". AREAS WITHIN ZONE "X" ARE DETERMINED TO BE OUTSIDE THE 0.2 ANNUAL CHANCE FLOOD PLAN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.: (0607280005) DATED: (01-19-1995)

UTILITY CONTACTS:

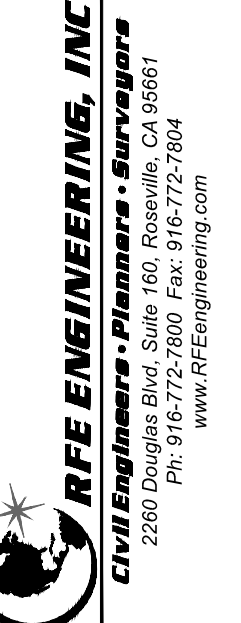
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVATOR ABANDONED. THE SURVEYOR FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

UTILITY CONTACT INFORMATION:

- | | | |
|------------------|-------------------------------|----------------|
| SEWER: | CITY OF WEST SACRAMENTO | (916) 614-4850 |
| WATER: | CITY OF WEST SACRAMENTO | (916) 614-4850 |
| DRAINAGE: | CITY OF WEST SACRAMENTO | (916) 614-4850 |
| POWER: | PACIFIC GAS & ELECTRIC | (800) 542-8818 |
| GAS: | PACIFIC GAS & ELECTRIC | (800) 542-8818 |
| CABLE: | WAVE BROADBAND | (866) 928-3123 |
| TELEPHONE: | AT&T | (800) 298-2020 |
| SCHOOL DISTRICT: | WASHINGTON UNIFIED | (916) 375-7604 |
| FIRE DISTRICT: | WEST SACRAMENTO FIRE DISTRICT | (916) 372-3375 |
| PARK DISTRICT: | CITY OF WEST SACRAMENTO | (916) 617-4620 |

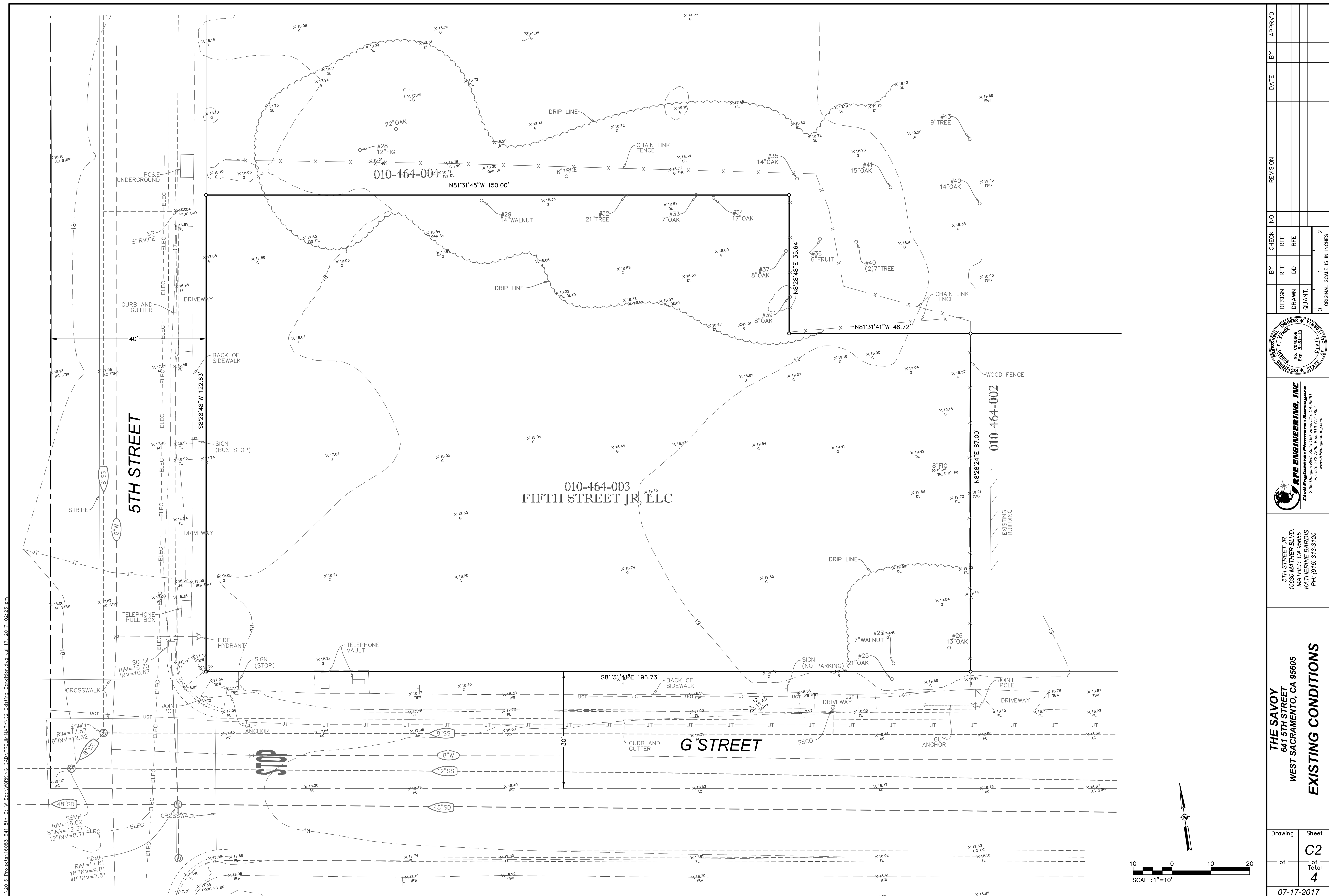
APPROVED	DATE	REVISION	NO.
BY	DATE	NO.	BY
CHECK	REF	REF	REF
DESIGN	DRAWN	QUANT.	0
			1
			2
			0
			0
			0
			0

ORIGINAL SCALE IS IN INCHES



5TH STREET JR
10630 MATHER BLVD.
MATHER, CA 95655
KATHERINE BARDIS
PH: (916) 313-3120

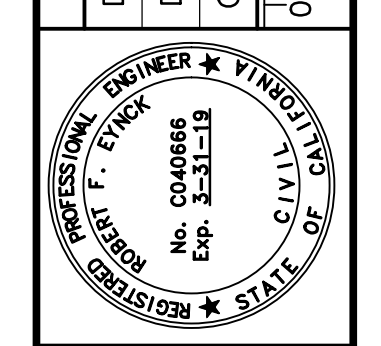
THE SAVOY
641 5TH STREET
WEST SACRAMENTO, CA 95605
LOTING EXHIBIT



Z:\2016 Projects\16083 641 5th St W Ssc Working CAD\PRELIMINARY\02 Existing Conditions.dwg Jul 17, 2017-02:23 pm

APPROVD	BY	DATE	REVISION	NO.	CHECK	BY	DATE	QUANT.	DESIGN	DRAWN	DD	RFE	RFE	2
								0						

ORIGINAL SCALE IS IN INCHES



RFE ENGINEERING, INC.
 Civil Engineering - Professional - Surveyors
 2260 Douglas Blvd., Suite 100, Roseville, CA 95661
 Ph: 916-772-7600 Fax: 916-772-7604
 www.RFEEngineering.com

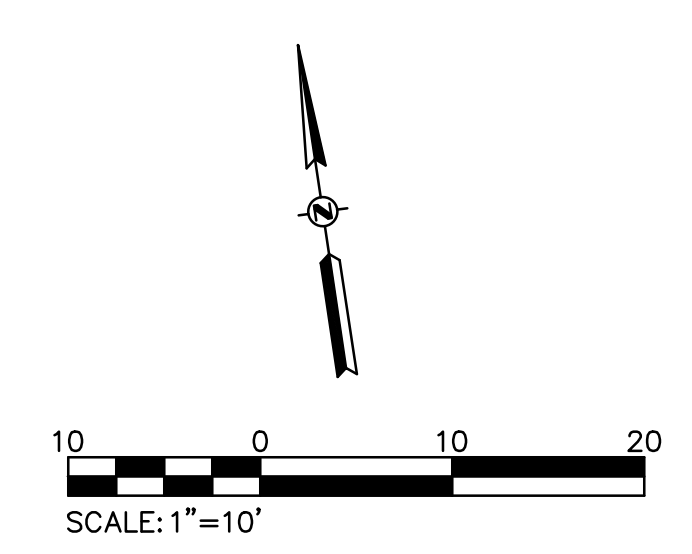
5TH STREET JR
 10630 MATHER BLVD.
 MATHER, CA 95665
 KATHERINE BARDIS
 PH: (916) 315-3120

THE SAVOY
 641 5TH STREET
 WEST SACRAMENTO, CA 95605

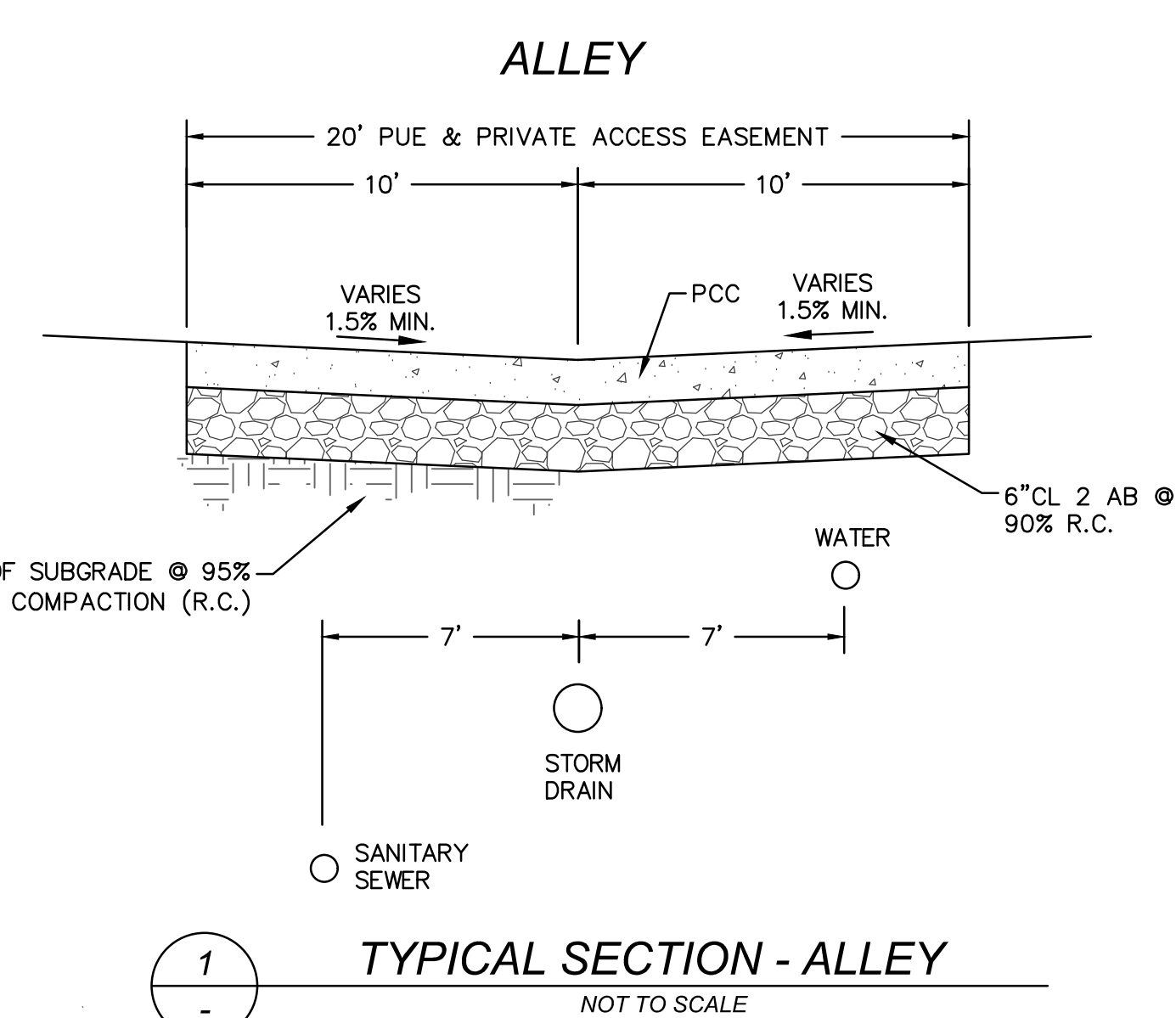
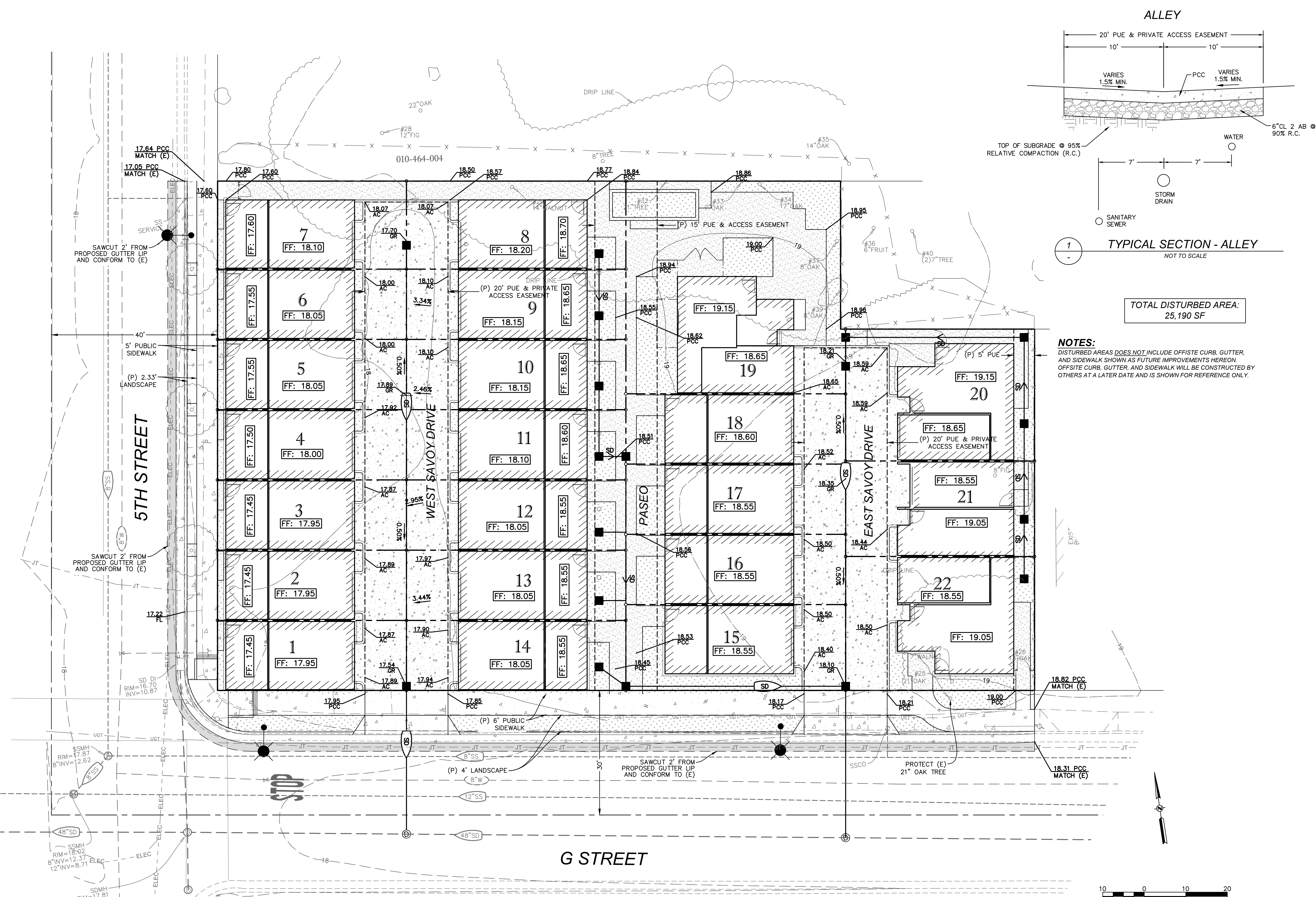
EXISTING CONDITIONS

Drawing	Sheet
	02
of	of Total
	4

07-17-2017



Z:\2016 Projects\16083_641_5th St. W. Sid. Working CAD\PRELIMINARY\C3_Grading Utility.dwg, Jul 17, 2017 - 02:23 pm



TOTAL DISTURBED AREA:
25,190 SF

NOTES:
DISTURBED AREA DOES NOT INCLUDE OFFSITE CURB, GUTTER, AND SIDEWALK SHOWN AS FUTURE IMPROVEMENTS HEREON. OFFSITE CURB, GUTTER, AND SIDEWALK WILL BE CONSTRUCTED BY OTHERS AT A LATER DATE AND IS SHOWN FOR REFERENCE ONLY.

APPROVD	BY	DATE	REVISION	NO.	CHECK	BY	DATE
					RFE		
					DD		
					QUANT.		
DESIGN							
DRAWN							
QUANT.							
ORIGINAL SCALE IS IN INCHES							
<p>RFE ENGINEERING, INC. Civil Engineers - Planners - Surveyors 2260 Douglas Blvd., Suite 100, Roseville, CA 95661 Ph: 916-772-7600 Fax: 916-772-7604 www.rfeengineering.com</p>							
<p>5TH STREET JR 10630 MATHER BLVD. MATHER, CA 95665 KATHERINE BARDIS PH: (916) 315-3120</p>							
<p>THE SAVOY 641 5TH STREET WEST SACRAMENTO, CA 95605 PRELIMINARY GRADING AND UTILITY PLAN</p>							
Drawing	Sheet						
	C3						
of	of Total						
	4						
07-17-2017							



POST-CONSTRUCTION SHED AREAS

SHED	(E) PERVIOUS (SF)	(P) PERVIOUS (SF)	(P) IMPERVIOUS (SF)	TOTAL (SF)	TOTAL (AC)	% IMPERVIOUS
DMA-1	10,670	175	10,495	10,670	0.245	98.36
DMA-2	2,869	1,333	1,536	2,869	0.066	53.54
DMA-3	8,381	648	7,733	8,381	0.192	92.27
TOTAL	21,920	1,508	20,412	21,920	0.503	93.12

LEGEND

DRAINAGE AREA DESIGNATIONS AND AREA

DRAINAGE AREA BOUNDARY

OVERLAND RELEASE

DMA
1.42 AC

PRE-DEVELOPMENT RUNOFF COEFFICIENT (C)

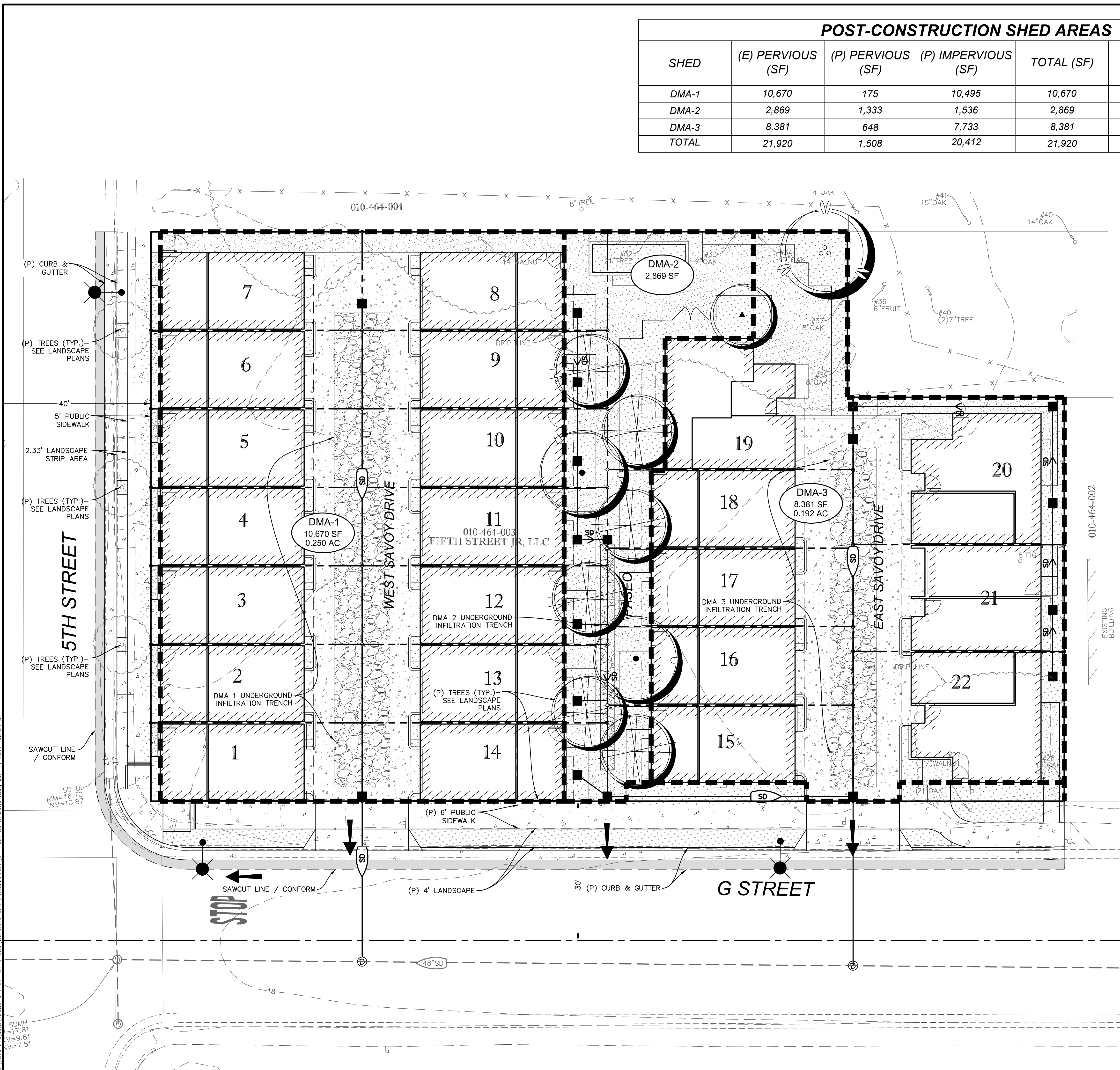
RELIEF	0.08
SOIL INFILTRATION	0.10
VEGETAL COVER	0.10
SURFACE STORAGE	0.10
TOTAL	0.38

PRE-DEVELOPMENT 2-YR, 24-HR PEAK FLOW

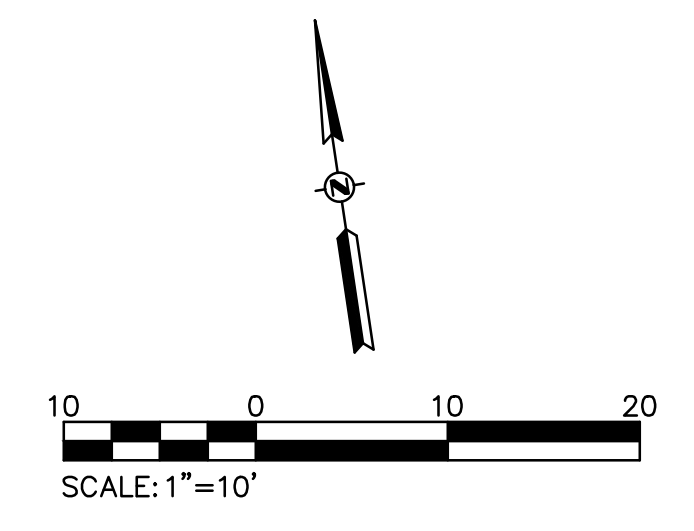
SHED	RUNOFF COEFFICIENT, C	2-YR, 24-HR STORM INTENSITY, i (IN/HR)	AREA, A (AC)	RUNOFF, Q (CFS)
DMA-1	0.38	0.089	0.245	0.0083
DMA-2	0.38	0.089	0.066	0.0022
DMA-3	0.38	0.089	0.192	0.0065

POST-DEVELOPMENT 2-YR, 24-HR PEAK FLOW

SHED	RUNOFF COEFFICIENT, C	2-YR, 24-HR STORM INTENSITY, i (IN/HR)	AREA, A (AC)	RUNOFF, Q (CFS)
DMA-1	0.940	0.089	0.245	0.0205
DMA-2	0.625	0.089	0.066	0.0037
DMA-3	0.896	0.089	0.192	0.0153



APPROVD BY DATE	REVISION NO. BY CHECK RFE DD RFE QUANT.	DESIGN DRAWN QUANT.	1 2 0 1 2 0	<p style="text-align: center;"> THE SAVOY 641 5TH STREET WEST SACRAMENTO, CA 95605 POST CONSTRUCTION STORMWATER PLAN </p> <p style="font-size: small;"> Drawing Sheet of Total C4 4 07-17-2017 </p>
-----------------------	--	---------------------------	----------------------------	--



2/17/2016 Projects\16083_641_5th St. W. SPC WORKING CAD\PRELIMINARY\C4 Post Construction.dwg, Jul 17, 2017 - 09:24 am
 SDMH
 V=17.81
 W=9.81
 H=7.51

5TH STREET JR
 10630 MATHER BLVD.
 MATHER, CA 95665
 KATHERINE BARDOIS
 PR: (916) 315-3120

RFE ENGINEERING, INC.
 Civil Engineers, Planners, Surveyors
 2260 Douglas Blvd, Suite 100, Roseville, CA 95661
 Ph: 916-772-7800 Fax: 916-772-7804
 www.rfeengineering.com